



# Benham's Grove - City of Centerville Barn Improvements

166 N Main St  
Centerville, OH 45459

2024-03-25

COMMISSION # 22627.00

## CONSTRUCTION DOCUMENTS

GENERAL CONTRACTOR:

STRUCTURAL:

STRUCTURAL:



PME:



L2 ENGINEERING, LLC  
7949 WASHINGTON WOODS DRIVE, DAYTON,  
OHIO 45459  
(937) 361-6731

CIVIL:



BURKHARDT ENGINEERING  
28 NORTH CHERRY STREET, GERMANTOWN,  
OHIO 45327  
(937) 388-0060

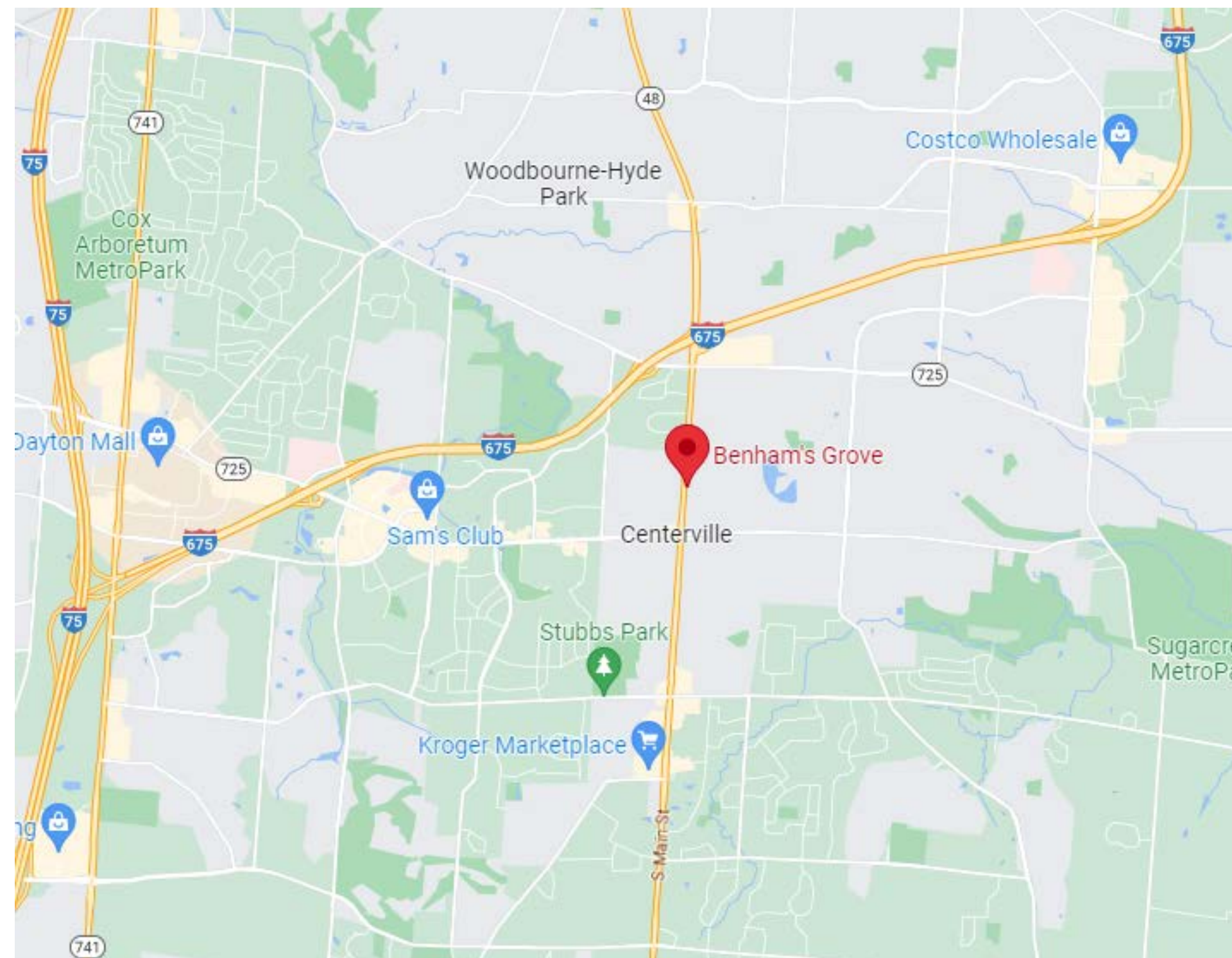
LANDSCAPE:



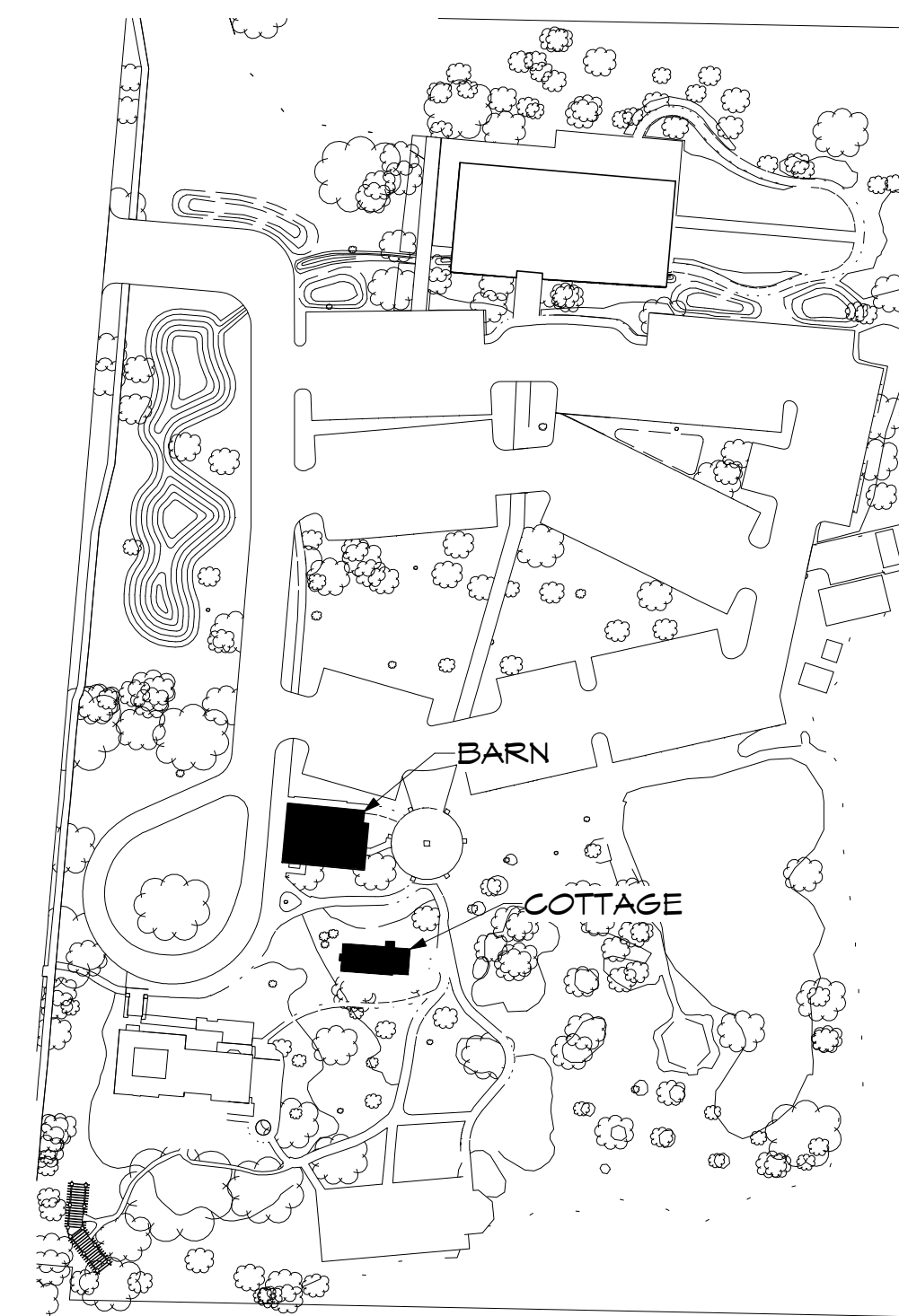
YELLOW SPRINGS DESIGN  
LANDSCAPE ARCHITECT  
830 XENIA AVENUE, YELLOW SPRINGS, OHIO 45387  
(937) 767-8199

DRAWING INDEX	
SHEET NO.	SHEET NAME
B.C.T001	TITLE SHEET
B.C.G001	CODE COMPLIANCE, GENERAL LEGENDS, ABBREVIATIONS & NOTES
B.A101	BARN DEMOLITION & NEW WORK PLANS
B.A601	BARN ENLARGED SCALE PLANS, INTERIOR ELEVATIONS
B.C.A001	SCHEDULES
B.C.A301	EXTERIOR BUILDING ELEVATIONS

B = BARN  
C = COTTAGE



VICINITY MAP  
SCALE: N.T.S.



2 BARN & COTTAGE KEY PLAN  
N.T.S.

No.	Revisions / Submissions	Date
1	Barn RFP	2024-03-25
	Barn & Cottage Bid Set	2023-12-22



LWC INCORPORATED  
434 East First Street Dayton, OH 45402 937.223.6500  
712 East Main Street Richmond, IN 47374 765.966.3546

Benham's Grove - City of Centerville  
Barn Improvements

166 N Main St  
Centerville, OH 45459

TITLE SHEET

	Comm. No.	Date	
	22627.00	2024-03-25	
	Drawn	Drawing No.	
A.H.F.	B.T001	Checked	L.L.

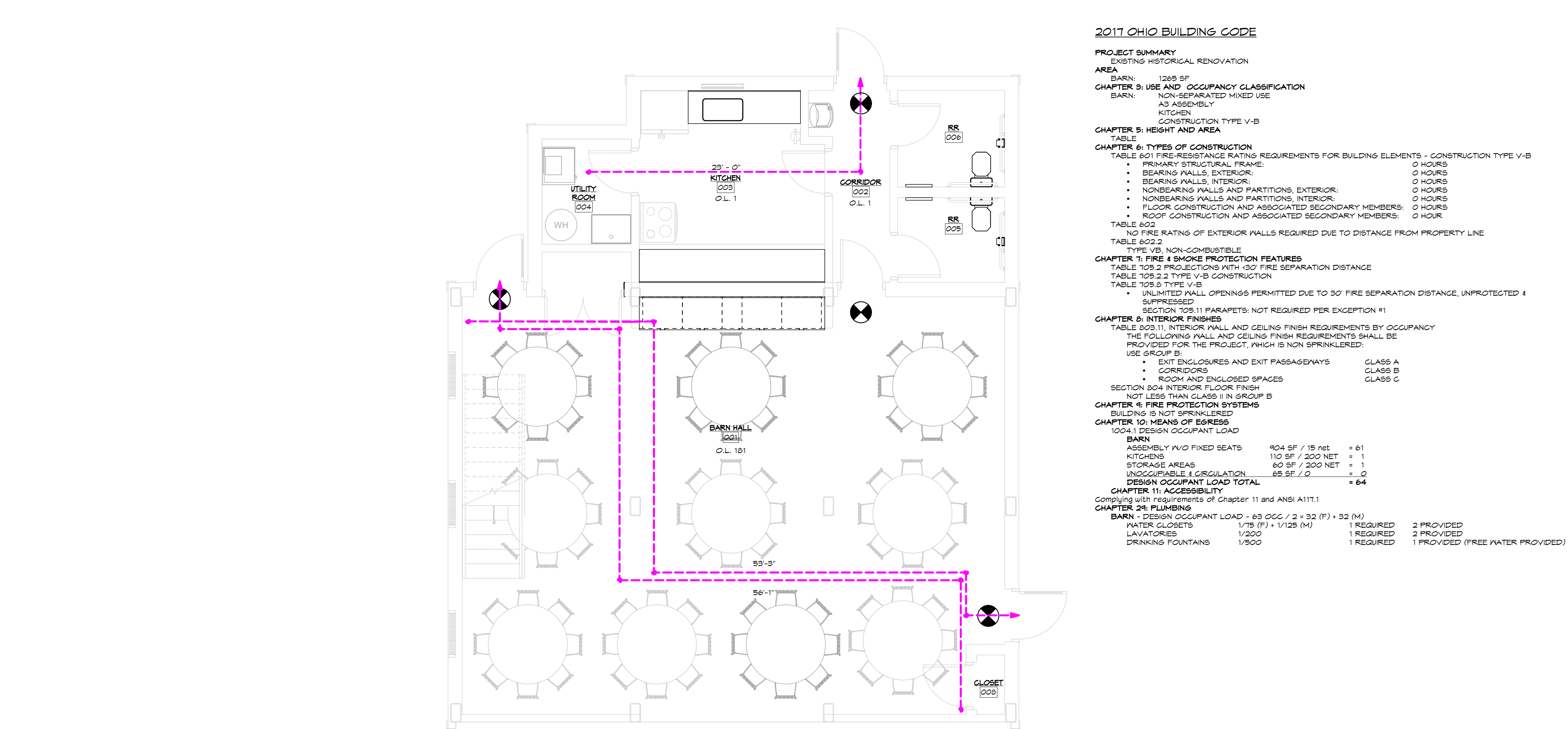
LICENSE ARC 9711789, EXPIRES: 12/31/25

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1	ABBREVIATIONS	1	ABBREVIATIONS
2	AND	2	ANGLE
3	ANGLE	3	AT
4	ARCH CONDITIONS	4	AT
5	ARCHITECTURAL	5	AT
6	ARCHITECTURAL	6	AT
7	ARCHITECTURAL	7	AT
8	ARCHITECTURAL	8	AT
9	ARCHITECTURAL	9	AT
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16	ARCHITECTURAL	16	AT
17	ARCHITECTURAL	17	AT
18	ARCHITECTURAL	18	AT
19	ARCHITECTURAL	19	AT
20	ARCHITECTURAL	20	AT
21	ARCHITECTURAL	21	AT
22	ARCHITECTURAL	22	AT
23	ARCHITECTURAL	23	AT

VIEW TITLE	SYMBOL NAME	SYMBOL MARK
VIEW NO. 1	WALL TAG	WALL TAG
SCALE: 1/8" = 1'-0"	WINDOW TAG	WINDOW TAG
VIEW NO. A101	CEILING TAG	CEILING TAG
VIEW NO. A101	INTERIOR FINISH TAG	INTERIOR FINISH TAG
VIEW NO. A101	MATERIAL TAG	MATERIAL TAG
VIEW NO. A101	SPECIALTY TAG	SPECIALTY TAG
VIEW NO. A101	EQUIPMENT TAG	EQUIPMENT TAG
VIEW NO. A101	PLUMBING TAG	PLUMBING TAG
VIEW NO. A101	FIXTURE TAG	FIXTURE TAG
VIEW NO. A101	CASEWORK TAG	CASEWORK TAG
VIEW NO. A101	FURNITURE TAG	FURNITURE TAG
VIEW NO. A101	DOOR TAG	DOOR TAG
VIEW NO. A101	ROOM TAG	ROOM TAG
VIEW NO. A101	LEVEL REFERENCE	LEVEL REFERENCE
VIEW NO. A101	EXISTING GRIDLINE	EXISTING GRIDLINE
VIEW NO. A101	NEW GRIDLINE	NEW GRIDLINE
VIEW NO. A101	KEYED NOTE	KEYED NOTE
VIEW NO. A101	MATCHLINE	MATCHLINE
VIEW NO. A101	REVISION	REVISION

B = BARN  
C = COTTAGE



2 BARN LIFE SAFETY PLAN  
SCALE: 1/4" = 1'-0"

**2017 OHIO BUILDING CODE**

**PROJECT SUMMARY**

EXISTING HISTORICAL RENOVATION

AREA: 1265 SF

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION

BARN: NON-SEPARATED MIXED USE ASSEMBLY

KITCHEN

CONSTRUCTION TYPE V-B

CHAPTER 5: HEIGHT AND AREA

CHAPTER 6: TYPES OF CONSTRUCTION

TABLE 601 FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS - CONSTRUCTION TYPE V-B

TABLE 602.1 TYPE V-B, NON-COMBUSTIBLE

CHAPTER 7: FIRE & SMOKE PROTECTION FEATURES

TABLE 703.2 PROJECTIONS WITH 30" FIRE SEPARATION DISTANCE

TABLE 703.2.2 TYPE V-B CONSTRUCTION

TABLE 703.2.2 TYPE V-B CONSTRUCTION

CHAPTER 8: INTERIOR FINISHES

TABLE 803.11 INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY

CHAPTER 9: FIRE PROTECTION SYSTEMS

BUILDING IS NOT SPRINKLERED

CHAPTER 10: MEANS OF EGRESS

1004.1 DESIGN OCCUPANT LOAD

BARN

ASSEMBLY (V/O) FIXED SEATS	904 SF / 15 net	= 61
KITCHENS	110 SF / 200 NET	= 1
STORAGE AREAS	80 SF / 200 NET	= 1
UNOCCUPABLE CIRCULATION	65 SF / 0	= 0
<b>DESIGN OCCUPANT LOAD TOTAL</b>		<b>= 64</b>

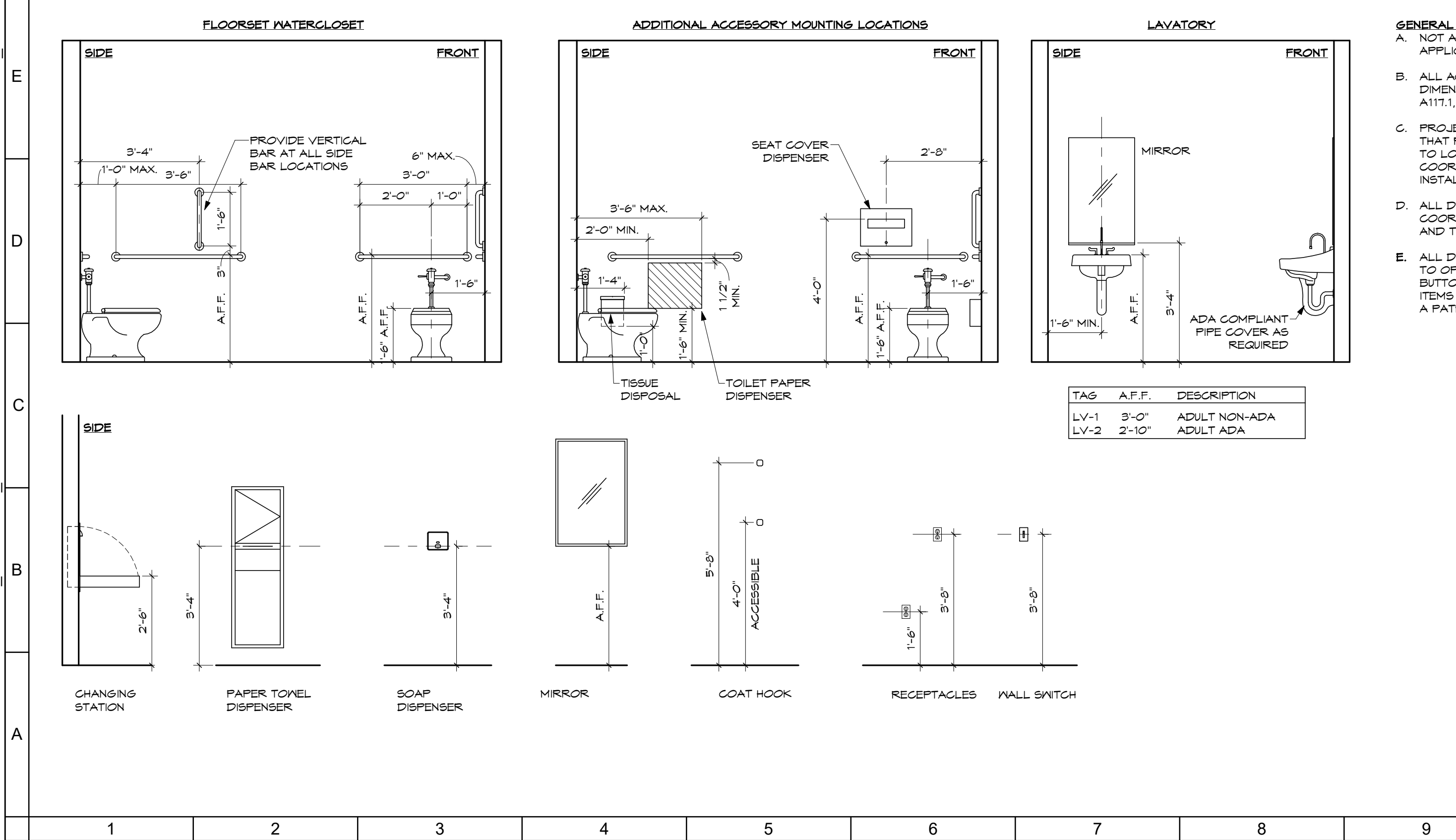
CHAPTER 11: ACCESSIBILITY

Complying with requirements of Chapter 11 and ANSI A117.1

CHAPTER 20: PLUMBING

BARN - DESIGN OCCUPANT LOAD - 63 OGC / 2 = 32 (F) + 32 (M)

WATER CLOSETS	1/75 (F) + 1/125 (M)	1 REQUIRED	2 PROVIDED
LAVATORIES	1/300	1 REQUIRED	2 PROVIDED
DRINKING FOUNTAINS	1/300	1 REQUIRED	1 PROVIDED (FREE WATER PROVIDED)



**GENERAL NOTES:**

A. NOT ALL ITEMS SHOWN MAY BE APPLICABLE TO THIS PROJECT.

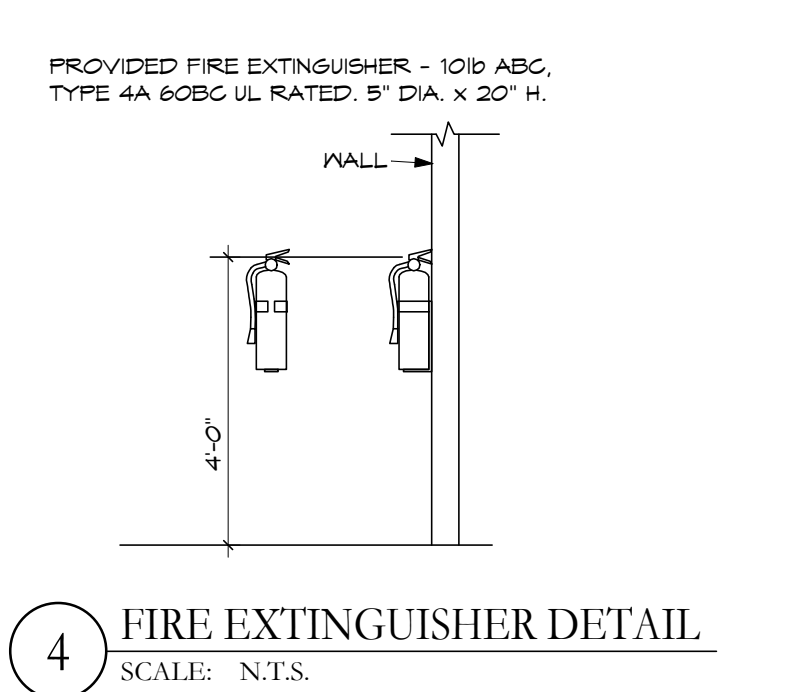
B. ALL ACCESSIBLE REACH AND MOUNTING DIMENSIONS SHALL CONFORM TO THE 2010 ADA/117.1 2008 VERSION STANDARDS.

C. PROJECT SPECIFIC ITEMS NOT SHOWN, OR THAT REQUIRE SELECTIVE ALTERATIONS TO LOCATION, MOUNTING, ETC., SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.

D. ALL DIMENSIONS ARE TO FINISH FACE. COORDINATE FINAL FINISH MATERIALS AND THICKNESS.

E. ALL DIMENSIONS ARE TO INCLUDE ACCESS TO OPERABLE LEVERS, CONTROLS, BUTTONS, CONTROLS, AND/OR OTHER ITEMS THAT MAY REQUIRE INTERACTION BY A PATRON.

TAG	A.F.F.	DESCRIPTION
LV-1	3'-0"	ADULT NON-ADA
LV-2	2'-10"	ADULT ADA



4 FIRE EXTINGUISHER DETAIL  
SCALE: N.T.S.

1 Barn R2Z		2024-03-25
Barn & Cottage Bid Set		2023-12-22
No.	Revisions / Submissions	Date

**LWC INCORPORATED**

434 East First Street Dayton, OH 45402 937.223.6500  
712 East Main Street Richmond, IN 47374 765.966.3546

**Benham's Grove - City of Centerville  
Barn Improvements**

166 N Main St  
Centerville, OH 45459

**CODE COMPLIANCE, GENERAL LEGENDS,  
ABBREVIATIONS & NOTES**

Comm. No.	Date
22627.00	2024-03-25
Drawn	Drawing No.
A.H.F.	B.G001
Checked	L.L.

JOHN C. FABELO  
LICENSED ARCHITECT  
LICENSE ARC 9711789, EXPIRES: 12/31/22

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C:\Users\ahDocuments\SAVE AS\_2024-03-11\_22627.00 - Benham's Grove - Barn R22 ARCH CENTRAL\_AFranklin\B2XT.rvt

EQUIPMENT SCHEDULE						
TAG	ITEM TYPE	DESCRIPTION	COUNT	MANUFACTURER	MODEL #	FINISH
EG-01	RESTROOM	RECESSED PAPER TOWEL DISPENSER W/ WASTE RECEPTACLE	2	AMERICAN SPECIALTIES INC	10-646T-41FC	MATTE BLACK
EG-03	RESTROOM	ADA GRAB BAR			EXISTING	
EG-04	RESTROOM	CS TOILET PAPER HOLDER	2	CSI	YB6428BL	MATTE BLACK
EG-05	RESTROOM	WALL HUNG MIRROR	2	KOH	26052-BLL	MATTE BLACK
EG-06	RESTROOM	SOAP DISPENSER		ELECTRONIC FAUCET	AUTOMATIC ARGOMA -AAB-12	MATTE BLACK

PLUMBING FIXTURE SCHEDULE						
TAG	ITEM TYPE	DESCRIPTION	COUNT	MANUFACTURER	MODEL #	FINISH
FF-01	RESTROOM	TOILET FLOOR MOUNTED	2	KOH	B0812-C 1.28 GPF	WHITE
FF-02	RESTROOM	TKO-HANDLE HIGH ARC FAUCET	2	ELKHURST	FP265LF	MATTE BLACK

FF-06	RESTROOM	TOILET TANK LEVER	2	MCEN	COLINET-YB060 1BL	MATTE BLACK
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LIGHTING FIXTURE SCHEDULE						
TAG	ITEM TYPE	DESCRIPTION	COUNT	MANUFACTURER	MODEL #	FINISH

LF-04	INTERIOR	CAMINO FILAMENT ROUND CHANDELIER 80"	1	RESTORATION HARDWARE		RCN
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FINISH MATERIAL SCHEDULE					
CODE	MATERIAL	MANUFACTURER	DESCRIPTION / PATTERN	COLOR / MATERIAL	REMARKS
ACT-1	ACOUSTICAL CEILING TILE				
B-1	BASE			PVC / WOOD-LOOK	
CPT-1	CARPET	MASLAND	8855-DISTINGUISHED		
FA-1	FLOOR ACCESSORIES	SCHLUTER	COVE FOR BASE- DILEX		
G-1	GROUT	MAPEL			
P-1	PANT	SHERWIN WILLIAMS	EXTERIOR	SW7011 DORIAN GRAY	EXTERIOR-TRIMS
P-2	PANT	SHERWIN WILLIAMS	EXTERIOR	SW168 GOSAMER VEIL	EXTERIOR
P-3	PANT	SHERWIN WILLIAMS	EXTERIOR - FIELD	SW1048 URBAN BRONZE	EXTERIOR- FIELD
P-4	PANT	SHERWIN WILLIAMS	EXTERIOR	SW2023 ROCKWOOD CLAY	EXTERIOR
P-5	PANT	SHERWIN WILLIAMS	EXTERIOR - TRIM	SW1048 ANONYMOUS	EXTERIOR - TRIM
P-6	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX EG-SHEL	SW168 GOSAMER VEIL	BARN INT. FIELD
P-7	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX SEMI-GLOS		BARN INT. ACCENT
P-8	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX EG-SHEL		BARN INT. ACCENT
P-9	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX SEMI-GLOS		BARN INT. DOOR / FRAMES
P-10	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX EG-SHEL		BARN RR.
P-11	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX FLAT		CEILING
P-12	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX EG-SHEL		COTTAGE INT. FIELD
P-13	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX EG-SHEL		COTTAGE INT. ACCENT
P-14	PANT	SHERWIN WILLIAMS	PROGMAR 200 ZERO VOC LATEX SEMI-GLOS		COTTAGE INT. DOOR / FRAMES
PL-1	PLASTIC LAMINATE	WILSONART			
C-1	CORIAN			CONCRETE COLOR -	KITCHEN/BUFFET
BT-1	STAIN			SK312R-B ARMOR HICKORY	
T-1	TILE			12X24	FLOOR TILE
T-2	TILE			4X6	WALL TILE
T-3	TILE			PORTFOLIO P-45G2	BASE TILE
TS-1	TRANSITION	SCHLUTER	TRANSITION		
WP-1	WETPAVING			WHITEWASH	

DOOR SCHEDULE

DOOR NO.	EXISTING / NEW	INTERIOR / EXTERIOR	SINGLE / PAIR	DOOR SIZE			DOOR			FRAME			HARDWARE SET #	FIRE RATING	REMARKS
				WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	GLAZING	TYPE	MATERIAL	DETAILS JAMB			
B001A	EXIST	EXT	SINGLE	3'-0"	8'-10"	1 3/4"							01		EXISTING DOOR WITH NEW HARDWARE
B001B	EXIST	INT	SINGLE										03		EXISTING DOOR WITH NEW HARDWARE
B001C	EXIST	EXT	SINGLE	3'-0"	8'-10"	1 3/4"							01		EXISTING DOOR WITH NEW HARDWARE
B002	EXIST	EXT	SINGLE	3'-0"	8'-10"	1 3/4"							01		EXISTING DOOR WITH NEW HARDWARE
B003	EXIST	INT	SINGLE										02		EXISTING DOOR WITH NEW HARDWARE
B004A	EXIST	INT	SINGLE										02		EXISTING DOOR WITH NEW HARDWARE
B004B	EXIST	INT	PAIR										02		EXISTING DOOR WITH NEW HARDWARE
B005	EXIST	INT	SINGLE										04		EXISTING DOOR WITH NEW HARDWARE
B006	EXIST	INT	SINGLE										04		EXISTING DOOR WITH NEW HARDWARE

- NOTES:  
1.
- Set 01**  
1 ea Hinge 013022 BLK Grandeur Hardware  
1 ea Deadbolt 740ad-700-11ps BLK Kwikset  
1 ea Classroom Lock CL3055 PZD 013E Corbin Russwin
- Set 02**  
1 ea Hinge As specified above BLK Grandeur Hardware  
1 ea Storeroom Lock CL3055 PZD 013E Corbin Russwin
- Set 03**  
ea Hinge 013022 BLK Grandeur Hardware
- Set 04**  
1 ea Hinge 013022 BLK Grandeur Hardware  
1 ea Classroom Lock CL3055 PZD 013E Corbin Russwin

1 Barn R22		2024-03-28
1 Barn & Cottage Bid Set		2023-12-22
No.	Revisions / Submissions	Date



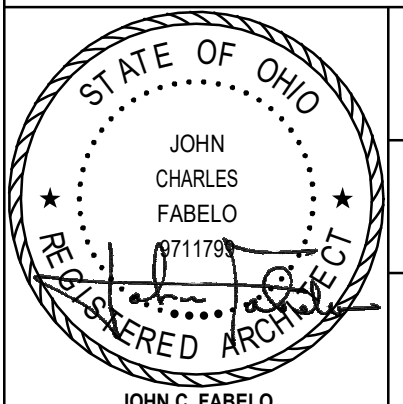
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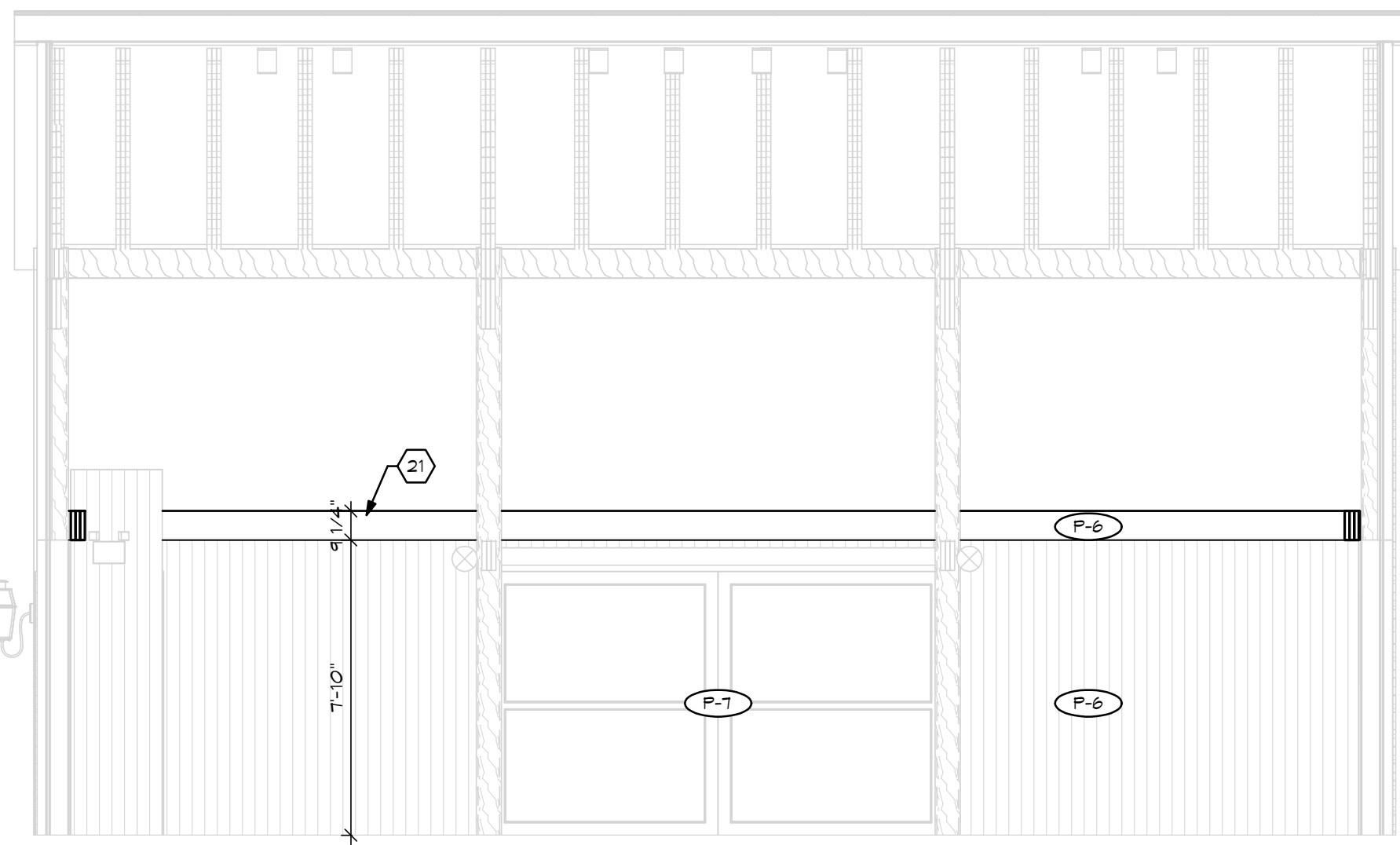
**SCHEDULES**

Comm. No.	Date
22627.00	2024-03-25
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A.H.F.	B.C.A001
Checked	L.L.

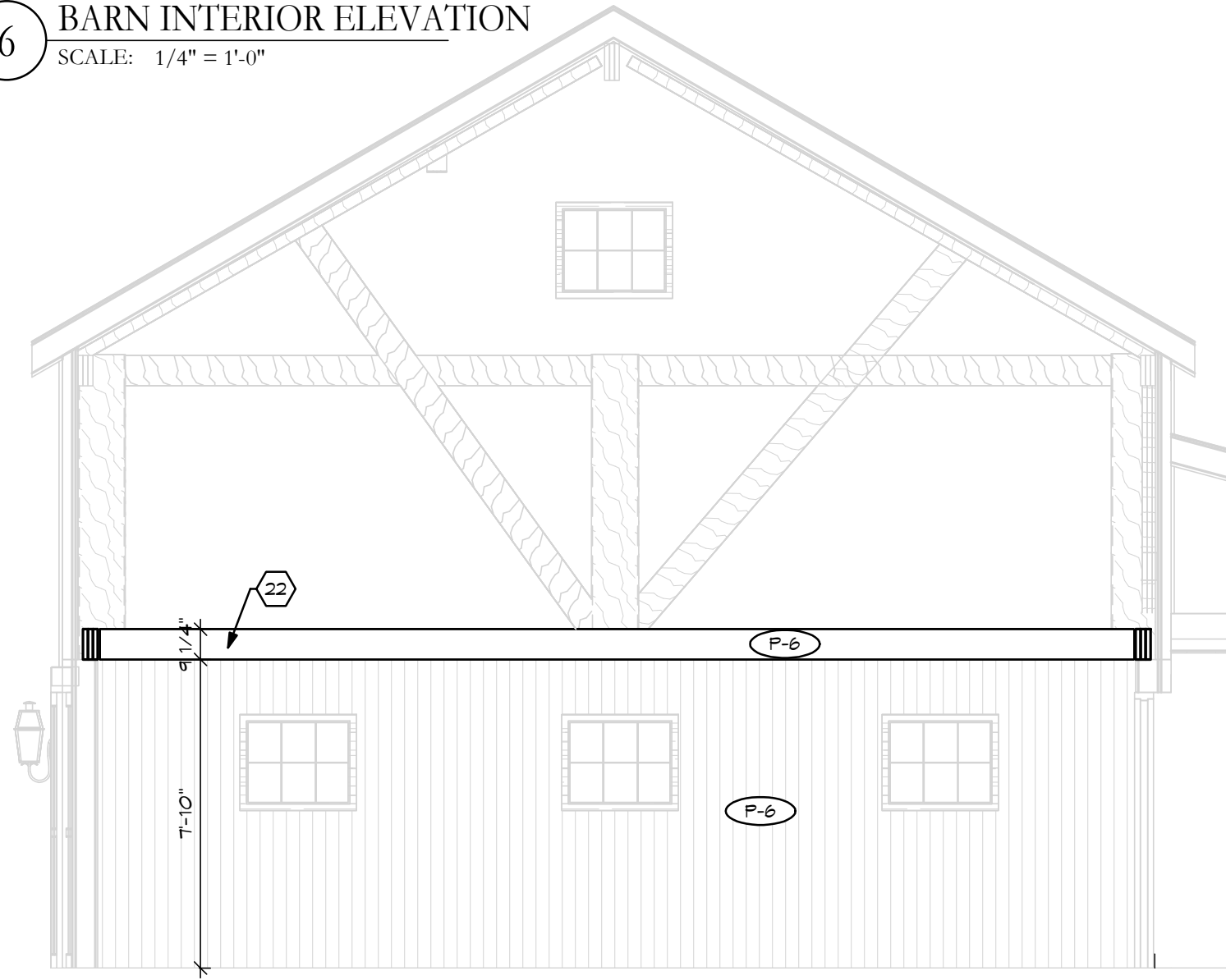


JOHN CHARLES FABELO  
711178  
STATE OF OHIO  
LICENSE ARC 9711789, EXPIRES: 12/31/25

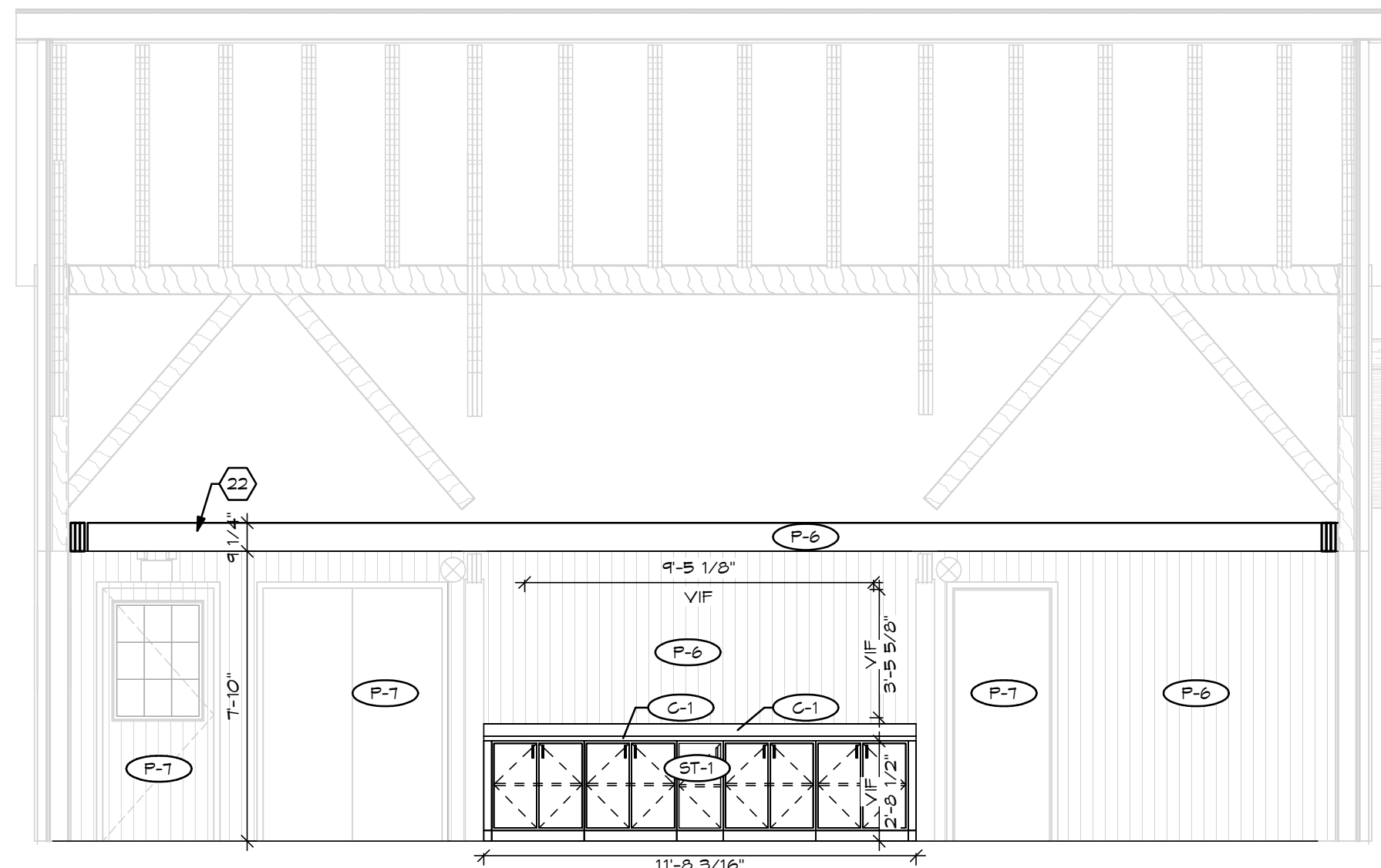
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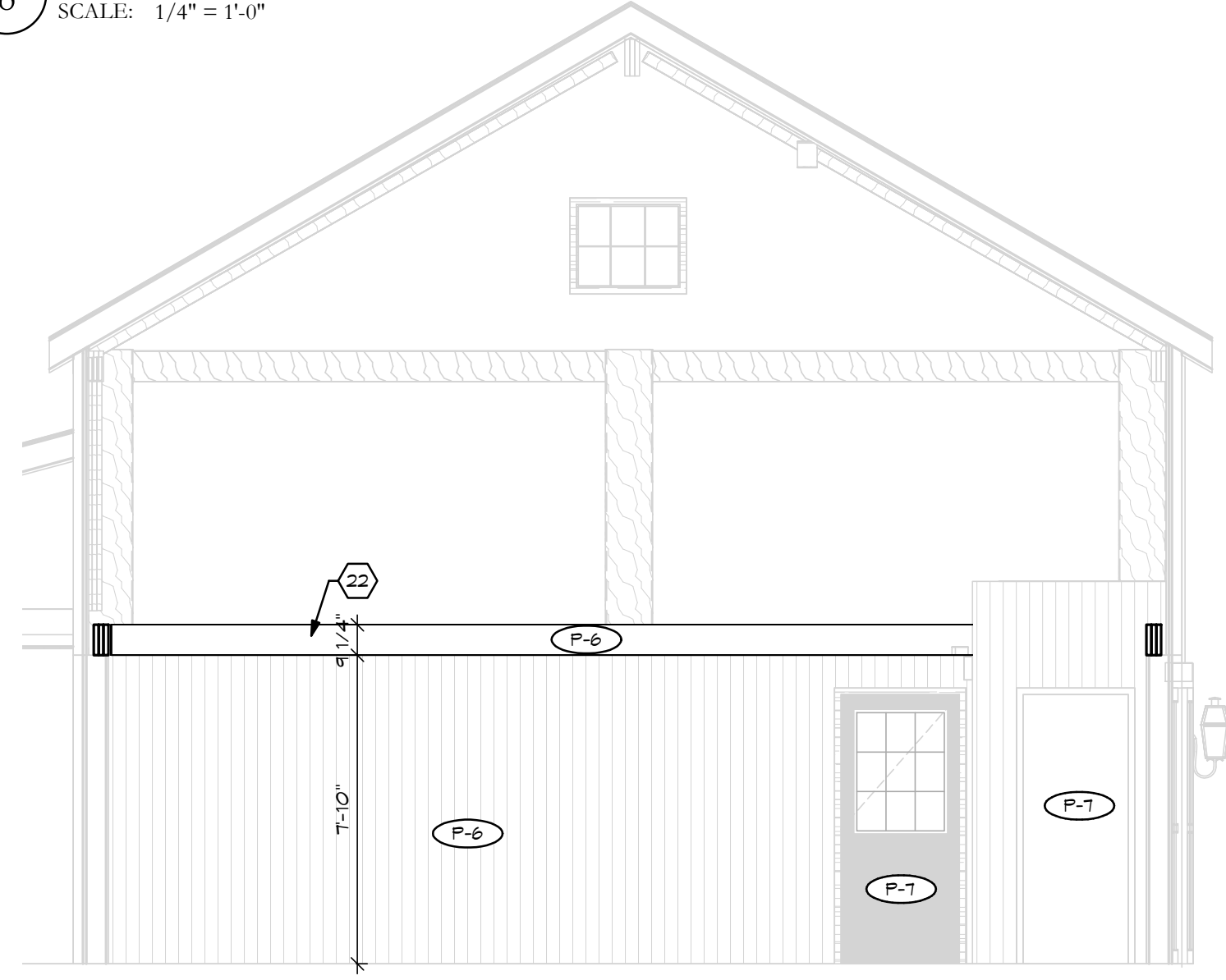
6 BARN INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



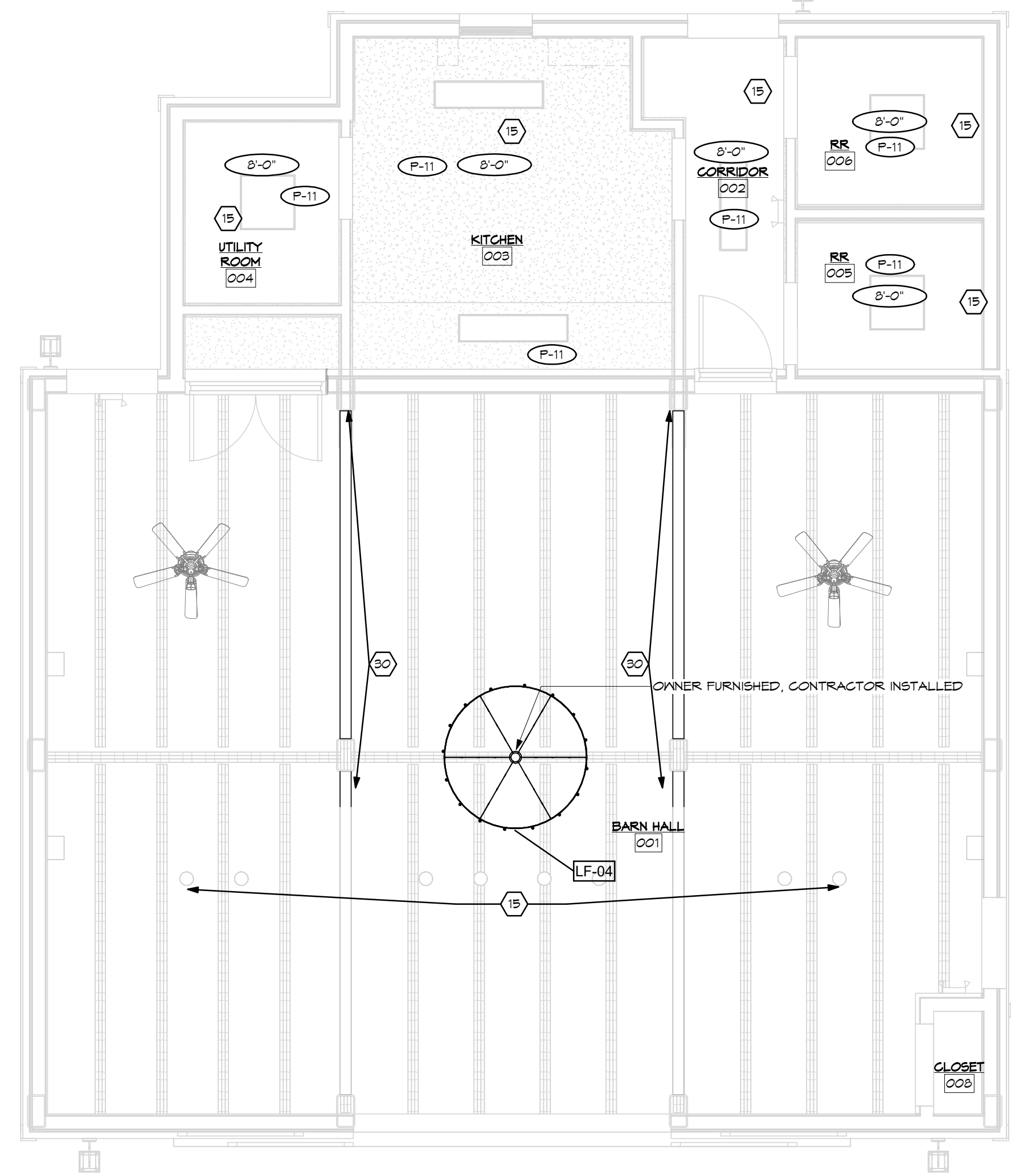
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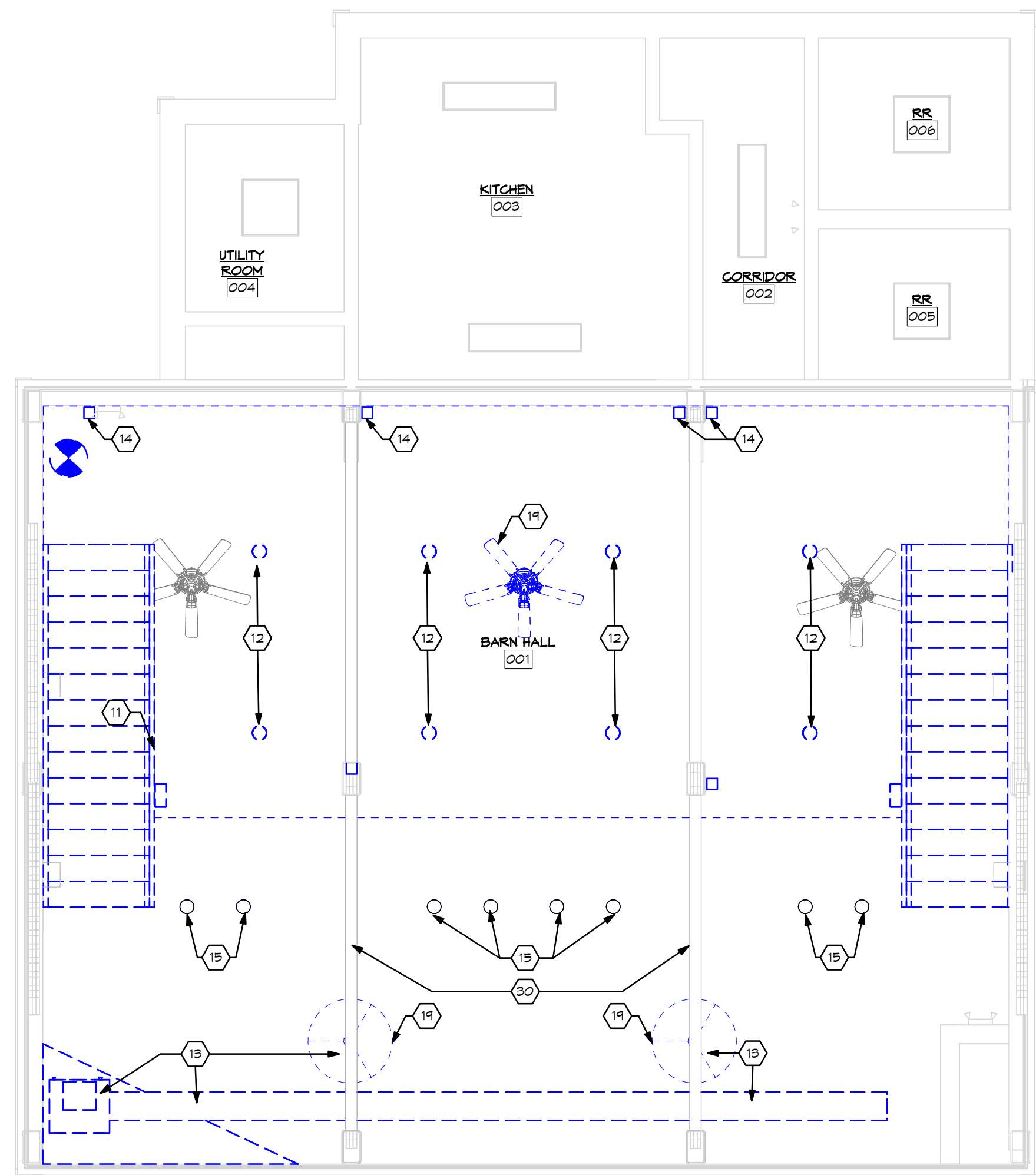
8 BARN INTERIOR ELEVATION  
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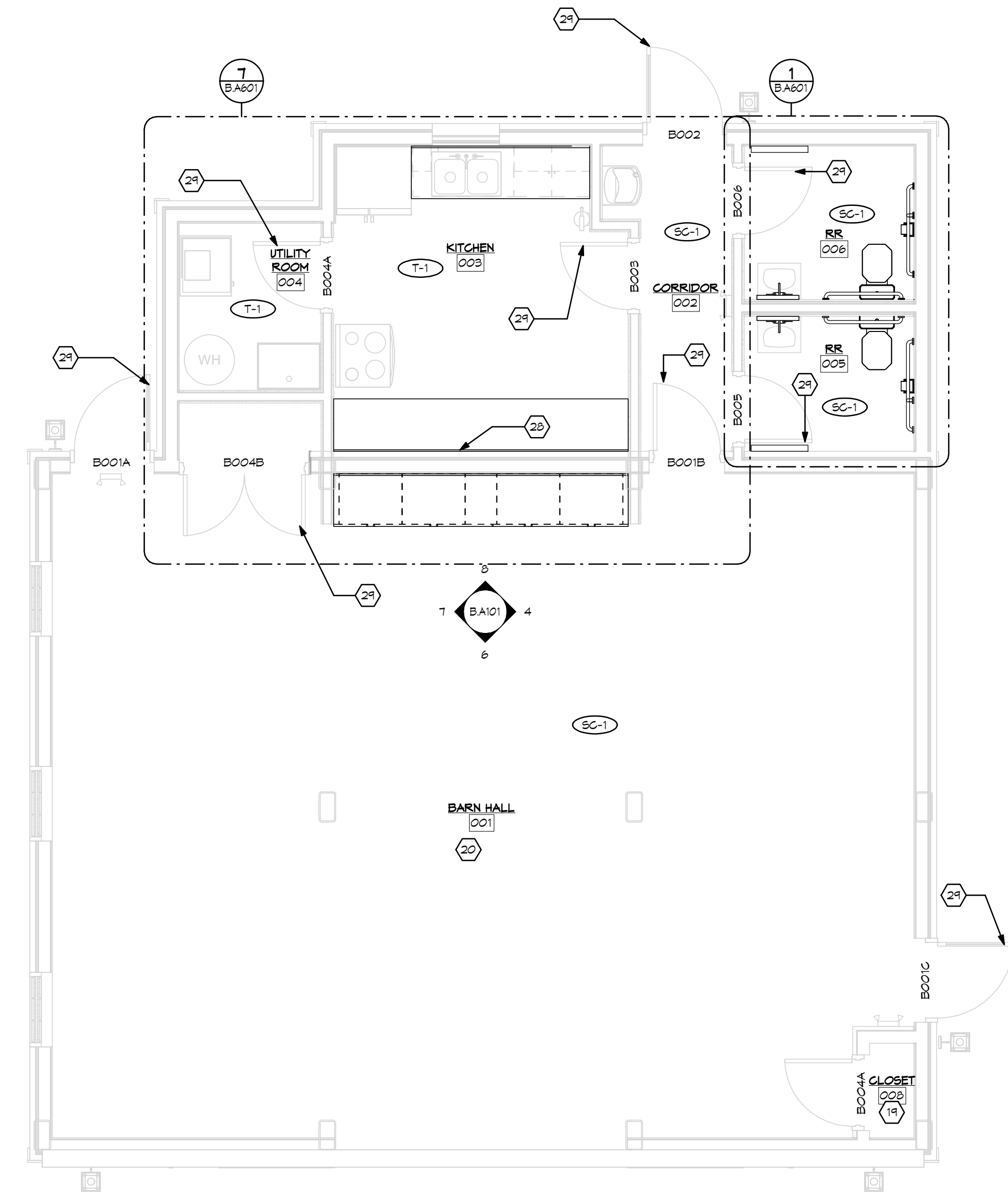
4 BARN INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



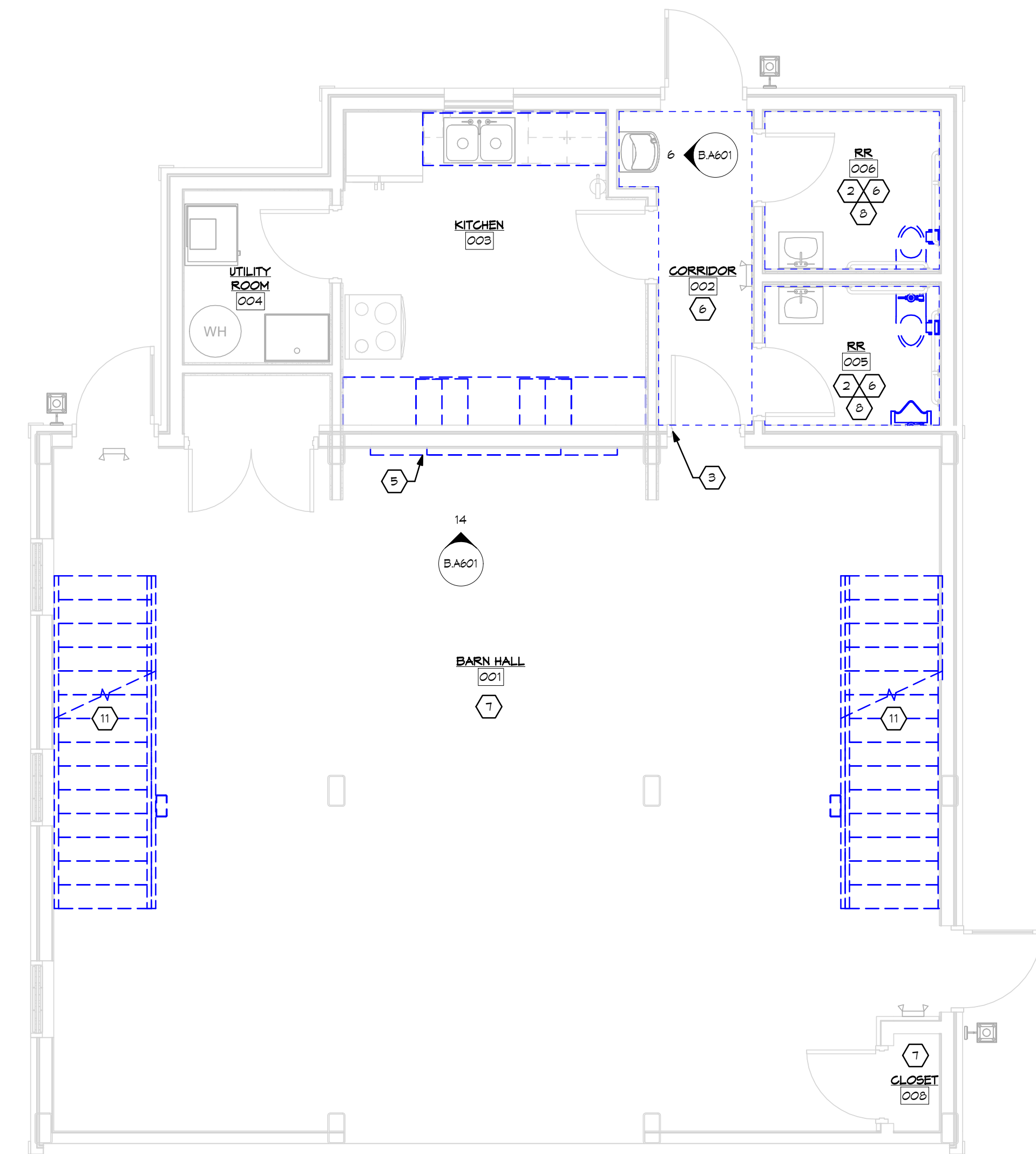
5 BARN NEW REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



2 BARN RCP DEMO PLAN  
SCALE: 1/4" = 1'-0"



3 BARN NEW FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 BARN FIRST FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"

SHEET NOTES:

- REMOVE EXISTING WALL AS INDICATED.
- REMOVE EXISTING WALL FINISHES & PREPARE WALL FOR NEW FINISH.
- REMOVE EXISTING DOORS & HARDWARE. FRAMES TO REMAIN. REPAIR AS NEEDED. RELOCATE DOOR AS INDICATED.
- REMOVE EXISTING CASEWORK.
- REMOVE EXISTING COUNTERTOPS.
- REMOVE EXISTING FLOORING & PREPARE SUBSTRATE FOR NEW FLOORING MATERIAL. REFER TO FINISH SCHEDULE.
- EXISTING CONCRETE FLOORING TO REMAIN. PREPARE FOR CONCRETE STAIN.
- REMOVE EXISTING PLUMBING FIXTURES. PREP FOR NEW FIXTURES.
- REMOVE EXISTING KITCHEN APPLIANCES.
- RELOCATE SWITCHES & CONTROLS. (SEE MEP DWGS)
- REMOVE STAIRS & LOFT SALVAGE STAIR MATERIALS & TO TURN OVER TO OWNER. COORDINATE WITH OWNER.
- REMOVE LIGHTING & RELOCATE IF INDICATED. (SEE MEP DWGS)
- REMOVE MECHANICAL UNIT & DUCTWORK. (SEE MEP DWGS) TURN OVER TO OWNER.
- REMOVE ELECTRICAL CONDUITS. (SEE MEP DWGS)
- EXISTING LIGHTING TO REMAIN.
- REMOVE GUTTER EXTERIOR. PREPARE FOR NEW GUTTER CONNECTION.
- PREPARE ROOF FOR NEW ROOF CONNECTION.
- PREPARE EXISTING WALL FOR NEW EXTERIOR WALL CONNECTION.
- REMOVE EXISTING CEILING FAN. (SEE MEP DWGS)
- SEAL EXISTING CONCRETE FLOOR. (SEE FINISH PLANS)
- MATCH NEW SIDING, GUTTER & ROOF TO EXISTING CONDITIONS. (SEE FINISH SCHEDULE)
- NEW WALL TRIM.
- NEW CASED OPENING.
- NEW OPENING. PREPARE WALL FOR NEW ROLLING BARN DOOR.
- RELOCATED EXISTING LIGHTING. (SEE MEP DWGS)
- DEMOLISH EXISTING GELING AS NEED FOR NEW RIDGE BEAM. (SEE STRUCT. DWGS)
- REMOVE PORTION OF EXISTING WALL FOR NEW 4X4 COLUMNS. (SEE STRUCT. DWGS)
- INFILL EXISTING OPENING.
- EXISTING DOOR. NEW DOOR HARDWARE IN KIND, BLACK.
- EXISTING LOU BEAMS TO REMAIN. WRAP WITH SALVAGED WOOD AT METAL PORTIONS.
- LOFT ALTERNATE: RELOCATE SALVAGED HANDRAIL ALONG NEW EDGE OF LOFT.
- LOFT ALTERNATE: RETAIN ONE STAIR AND PORTION OF LOFT.

GENERAL NOTES:

- PROTECT EXISTING - TO - REMAIN ITEMS THROUGHOUT THE PROJECT. REPAIRS TO ANY EXISTING - TO - REMAIN ITEMS DAMAGED BY CONTRACTOR OR SUBCONTRACTOR SHALL BE RESTORED AT CONTRACTOR'S EXPENSE.
- ALL DOORS WITHOUT A TAG ARE EXISTING TO REMAIN.
- ALL DOORS & CASEWORK TO BE PREPARED TO RECEIVE NEW FINISH. (SEE FINISH SCHEDULE)
- PATCH ALL WALLS DAMAGED FROM CONSTRUCTION AND/OR REMOVED WALLS, DEVICES OR EQUIPMENT (GLOCKS, SPEAKERS, ETC.) WITH MATERIALS TO MATCH EXISTING. MATCH ADJACENT SURFACE TEXTURE.
- ALL TRIM (CROWN MOLD, COFFERS, CHAIR RAIL & BASE) IMPACTED BY NEW WORK SHALL BE MODIFIED AND/OR PATCHED; REFER TO ELEVATIONS FOR FURTHER DETAIL.
- REMOVE ALL EXISTING WINDOW TREATMENTS & BLINDS. ALL WINDOWS SHALL RECEIVE NEW BLINDS.
- REMOVE ALL EXISTING UNUSED WALL MOUNTED DEVICES & EQUIPMENT (SPEAKERS, GLOCKS, BUS LIGHTS, BLANKS, ETC.) & TURN OVER TO OWNER. PATCH & REPAIR WALLS AS NEEDED TO MATCH TEXTURE & APPEARANCE OF ADJACENT WALL SURFACE.
- THE PARTITION TYPES INDICATED ON THIS SHEET PROVIDE THE GENERAL DESIGN INTENT. HOWEVER, EXISTING AND/OR NEW CONDITIONS MAY OCCUR THAT MIGHT NOT BE IDENTIFIED IN THE PARTITION TYPES.
- UNLESS NOTED OTHERWISE, DISPOSE OF DEMOLITION MATERIALS OFF SITE FOLLOWING ALL APPLICABLE RULES & REGULATIONS.
- ALL NEW ELECTRICAL OUTLETS AND LIGHTS SHALL USE EXISTING ELECTRICAL CIRCUITS IN THE SPACE. RE-ROUTE TO NEW LOCATIONS INDICATED. ALL WALL RECEPTACLE COVERS TO BE REPLACED.

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2	Barn & Cottage Bid Set	2023-12-22
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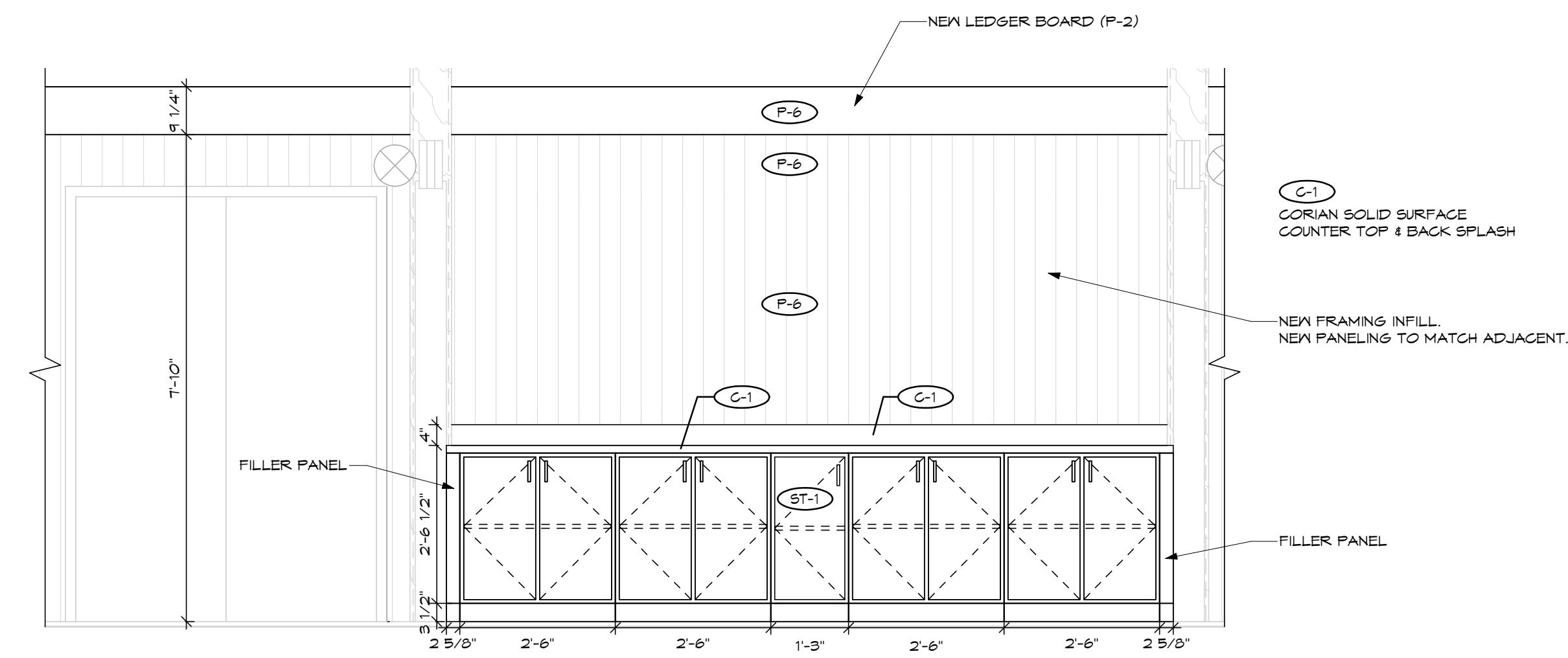
BARN DEMOLITION & NEW WORK PLANS

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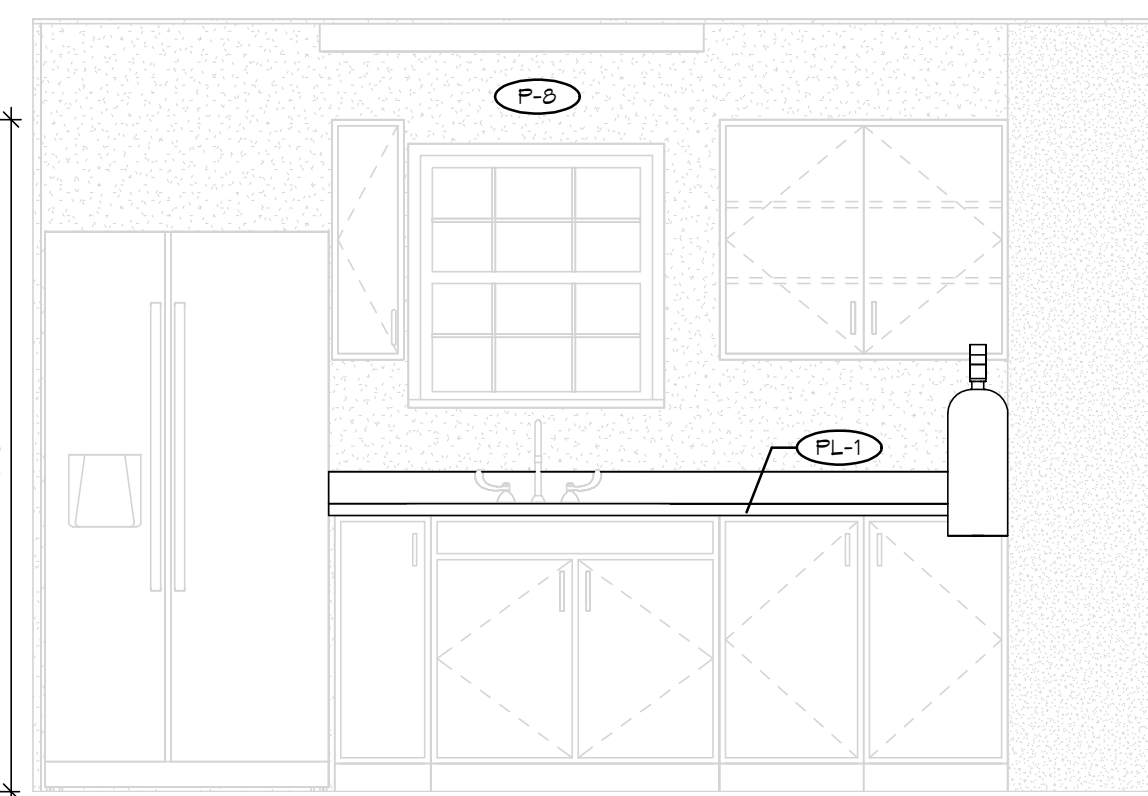
JOHN C. FABELO  
LICENSE ARC 911799, EXPIRES: 12/31/25

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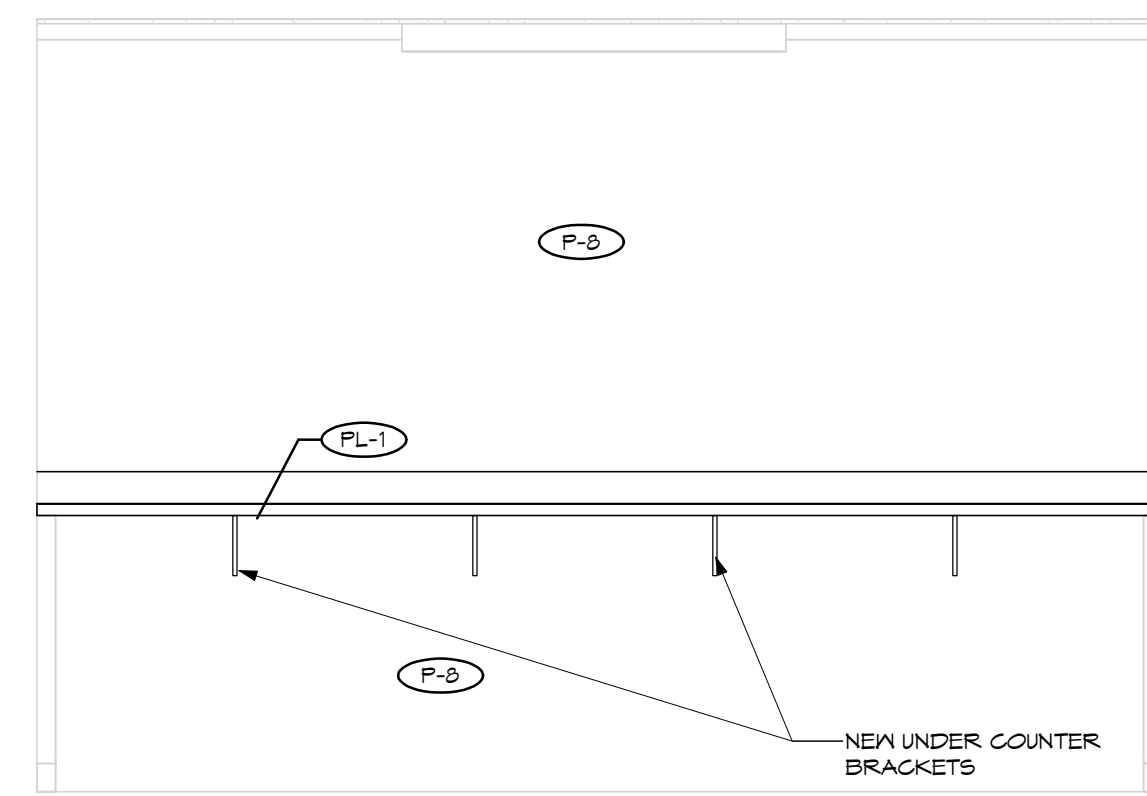
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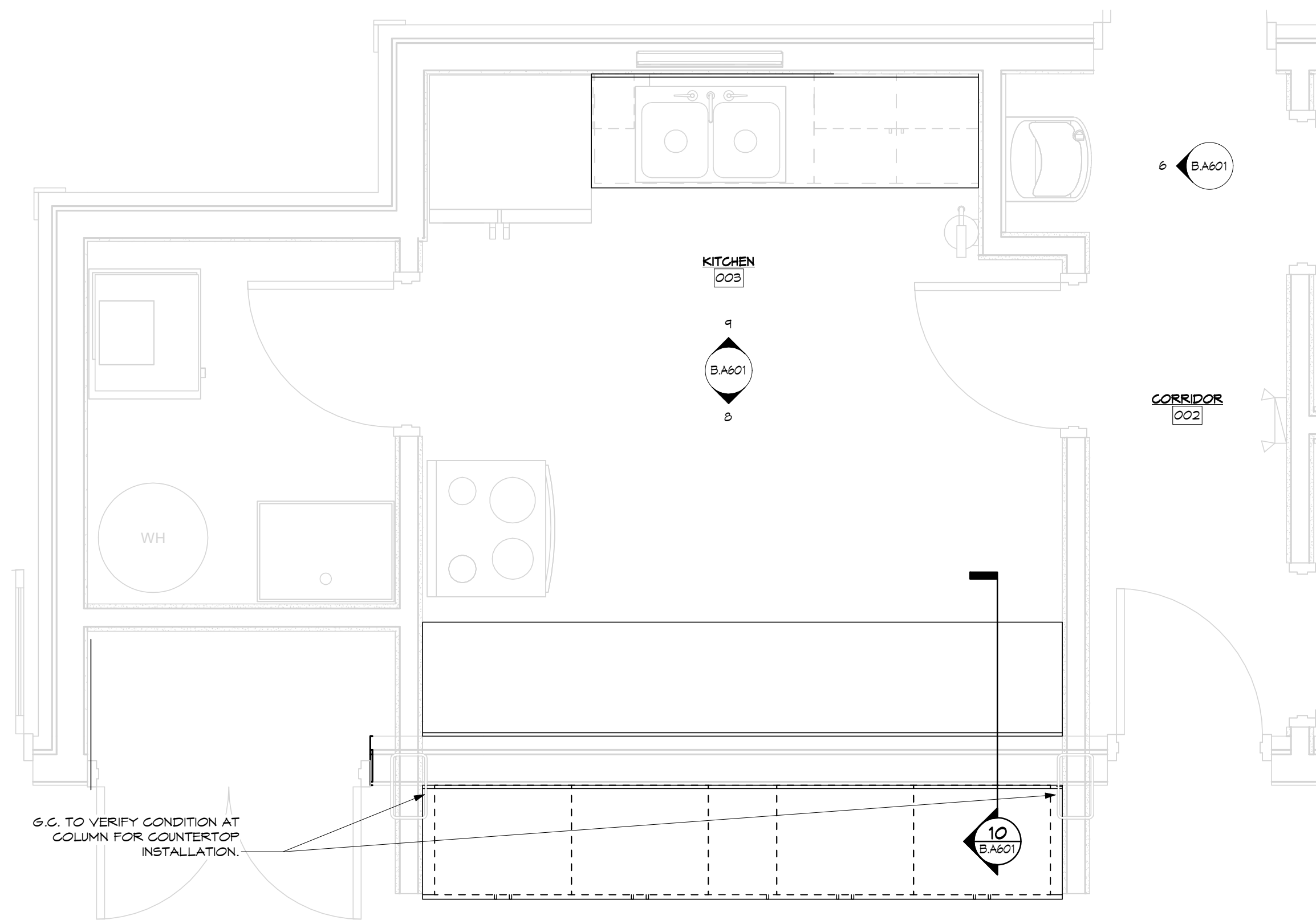
14 BARN INTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



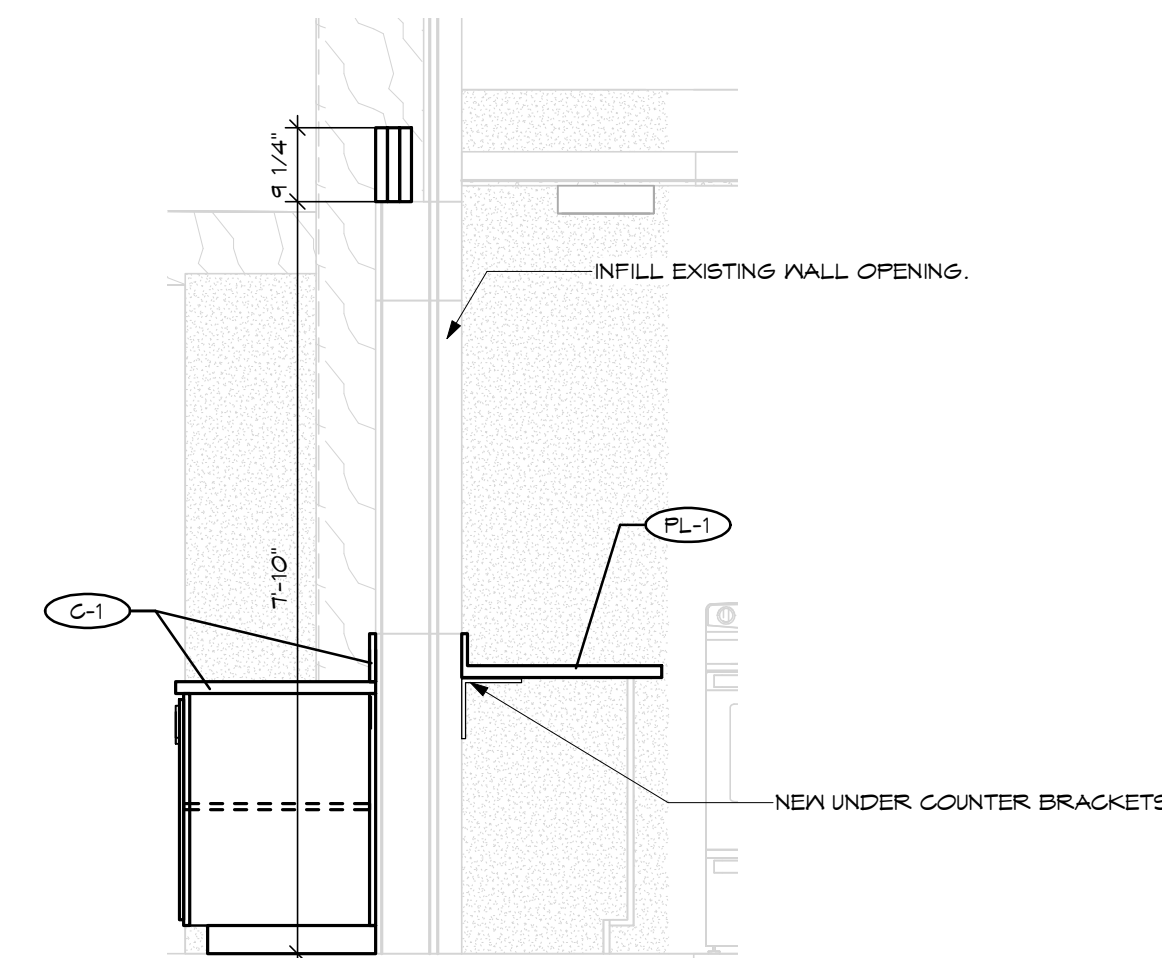
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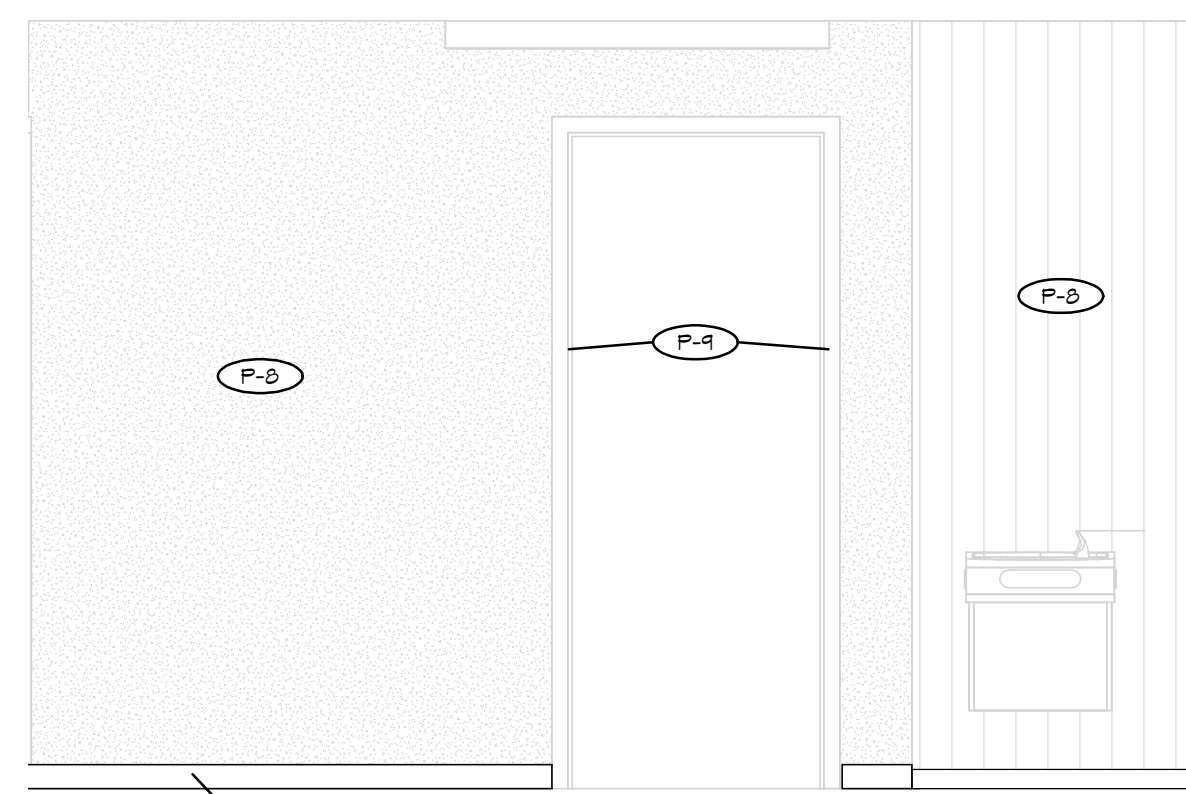
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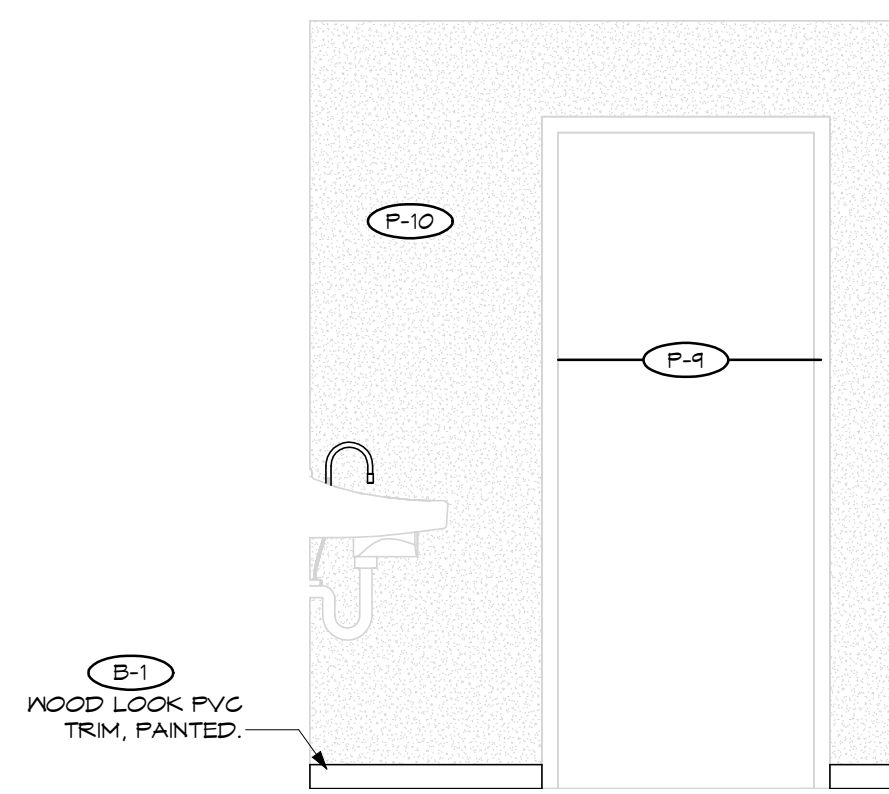
7 BARN ENLARGED PLAN  
SCALE: 1/2" = 1'-0"



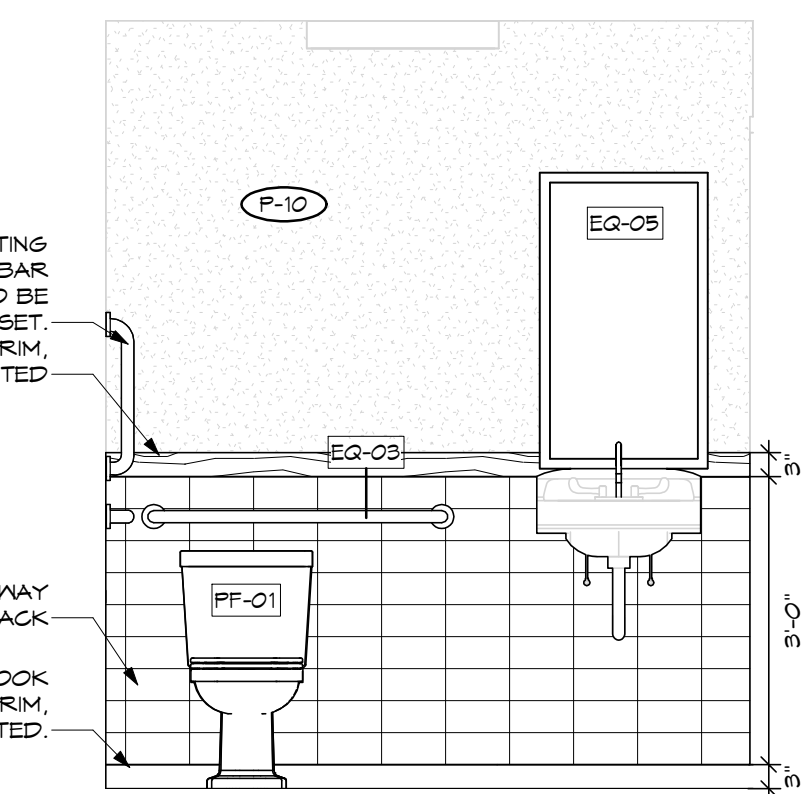
10 BARN ENLARGED DETAIL  
SCALE: 1/2" = 1'-0"



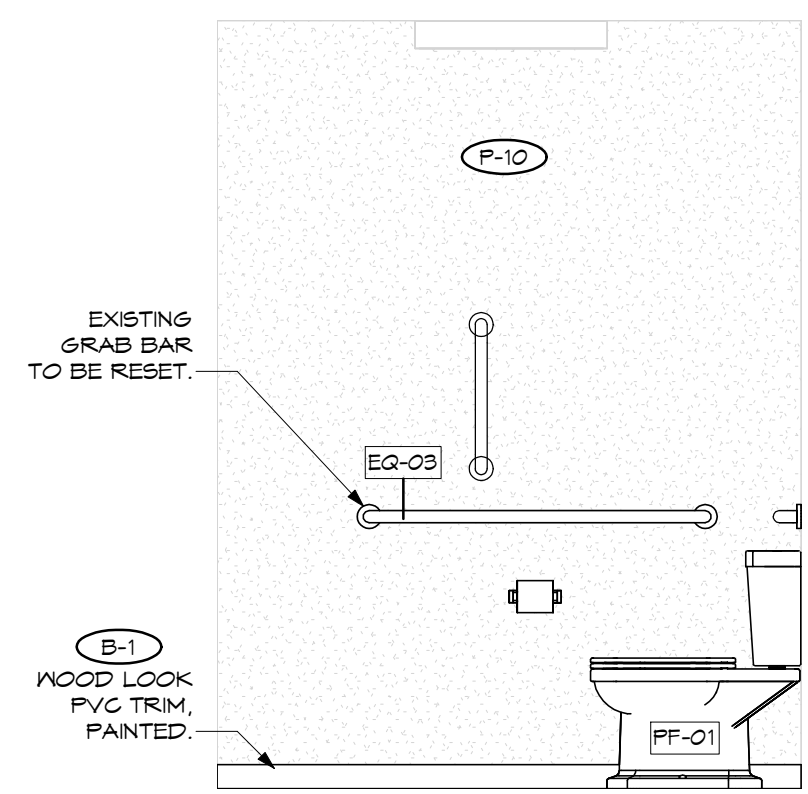
6 BARN INTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



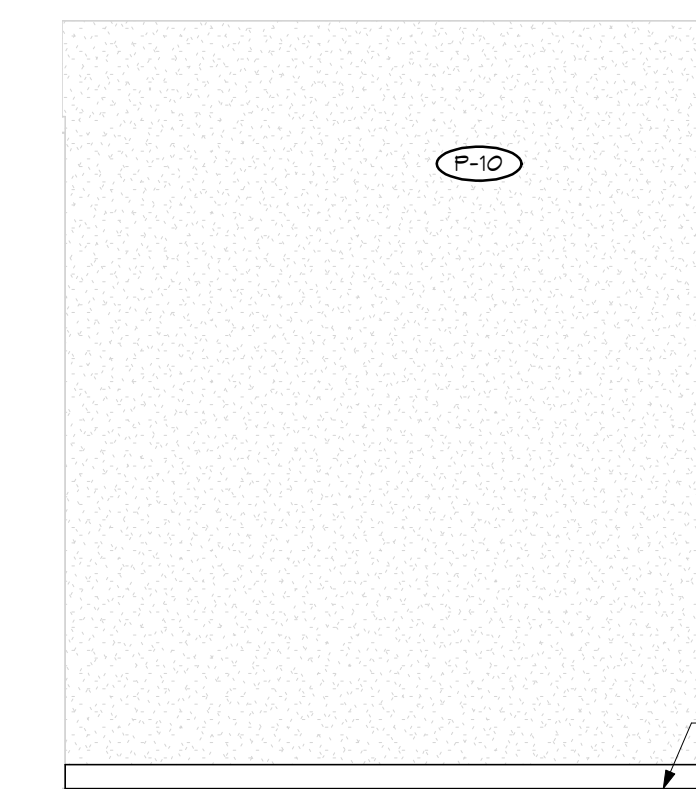
5 BARN INTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



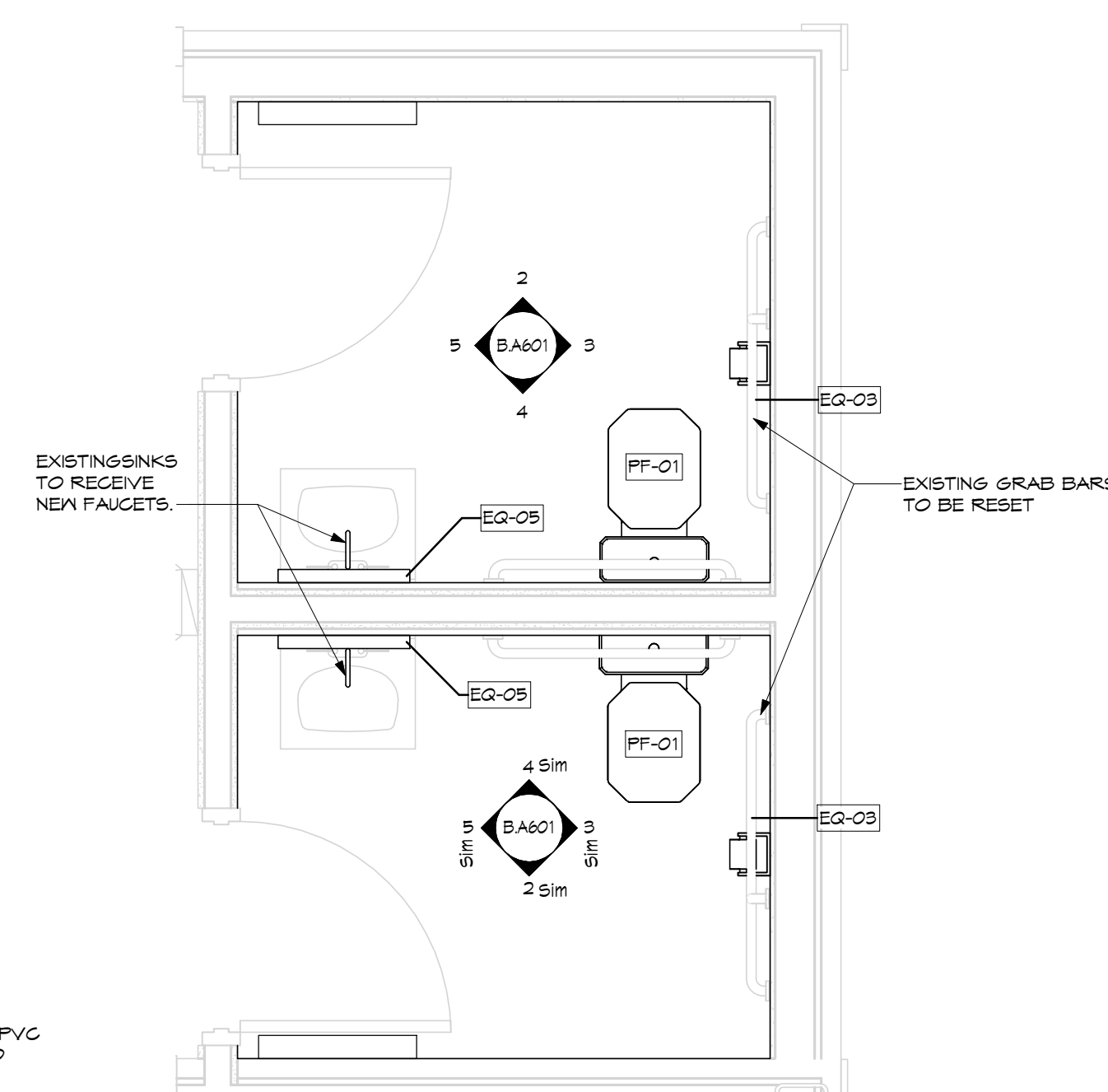
4 BARN INTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



3 BARN INTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



2 BARN INTERIOR ELEVATION  
SCALE: 1/2" = 1'-0"



1 BARN ENLARGED PLAN  
SCALE: 1/2" = 1'-0"

1	Barn RFI	2024-03-25
1	Barn & Cottage Bid Set	2023-12-22
No.	Revisions / Submissions	Date

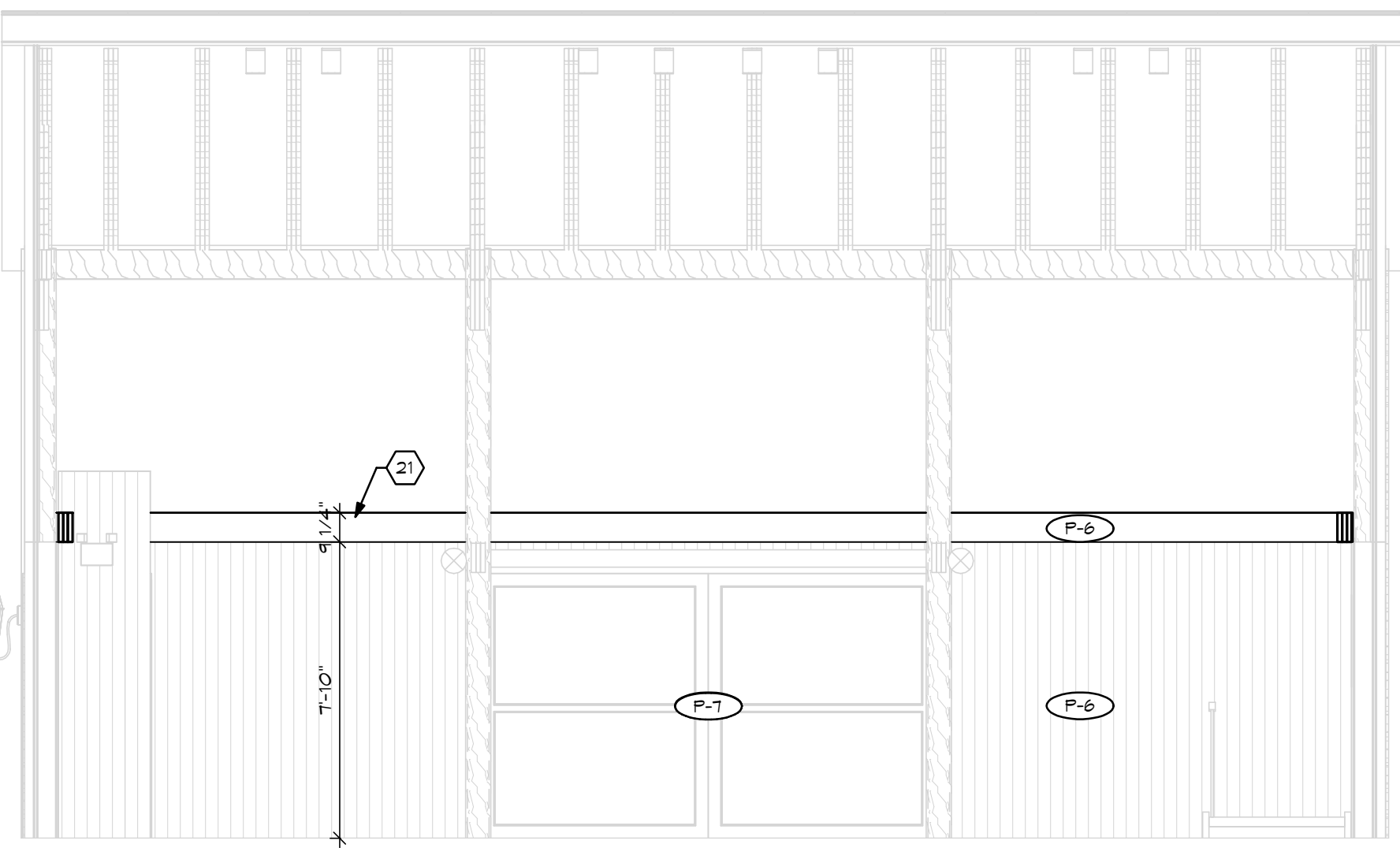
**LWC**  
INCORPORATED  
434 East First Street Dayton, OH 45402 937.223.6500  
712 East Main Street Richmond, IN 47374 765.966.3546

**Benham's Grove - City of Centerville  
Barn Improvements**

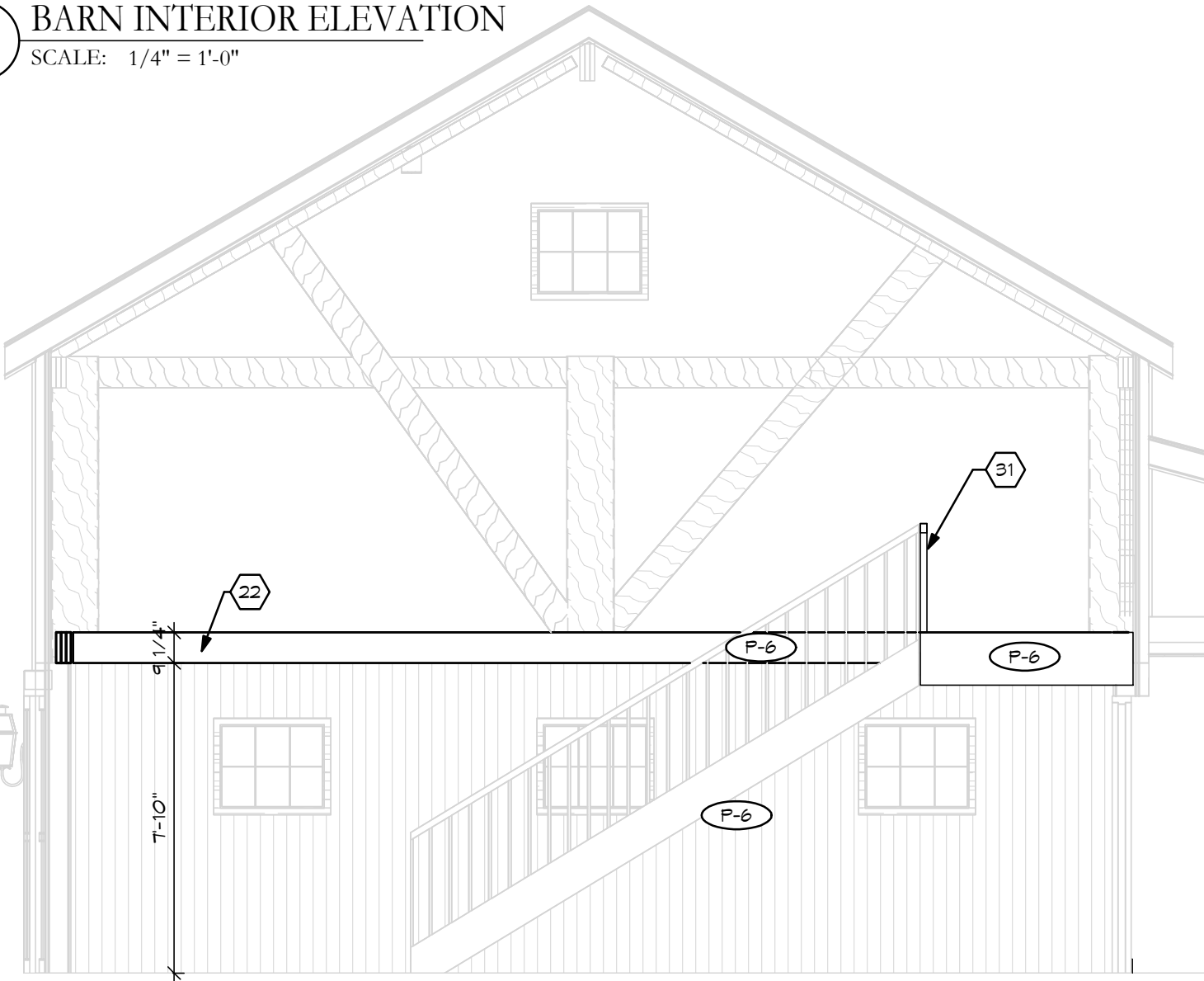
166 N Main St  
Centerville, OH 45459

**BARN ENLARGED SCALE PLANS, INTERIOR  
ELEVATIONS**

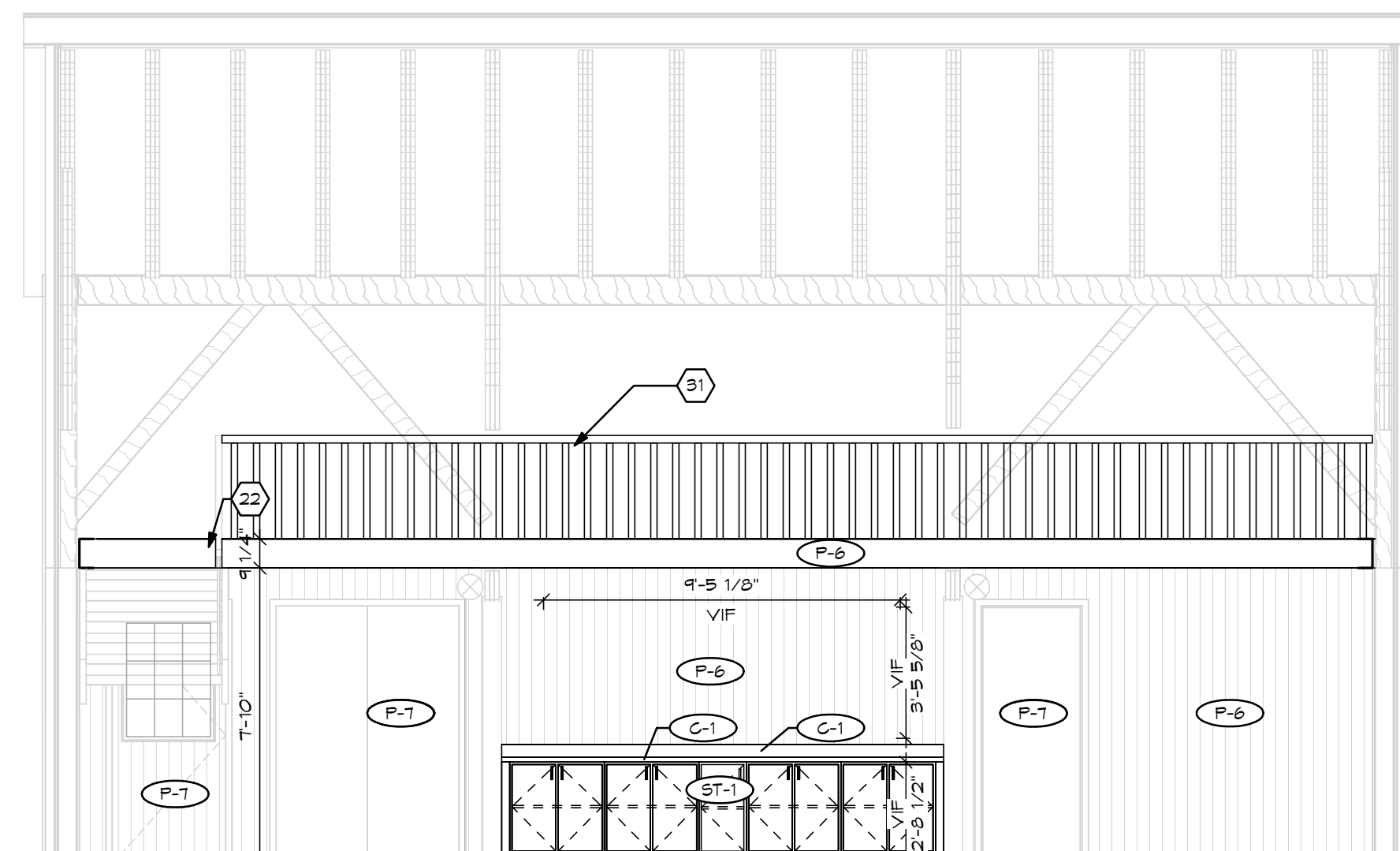
	Comm. No.	Date
	22627.00	2024-03-25
	Drawn	Drawing No.
	A.H.F.	B.A601
Checked	L.L.	



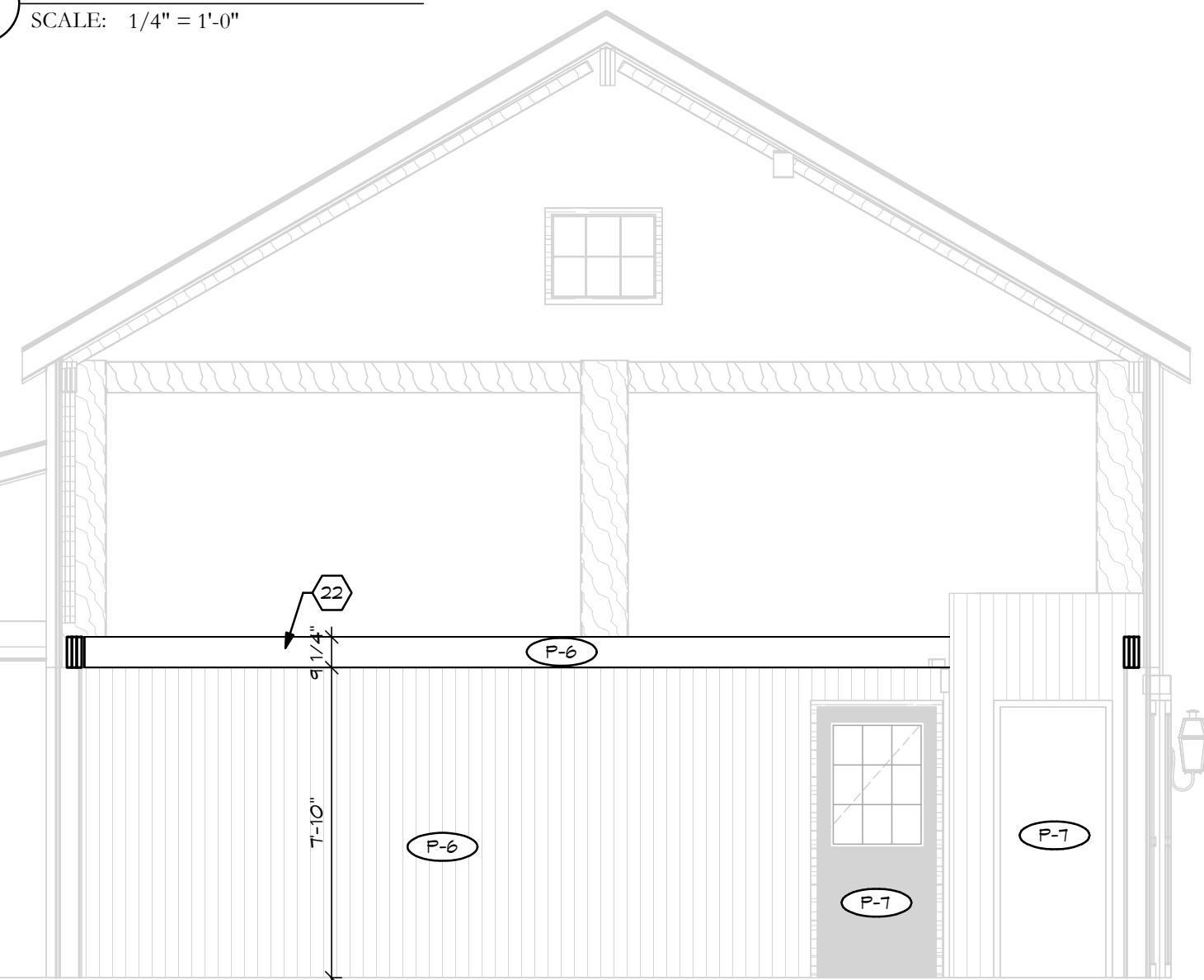
6 BARN INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



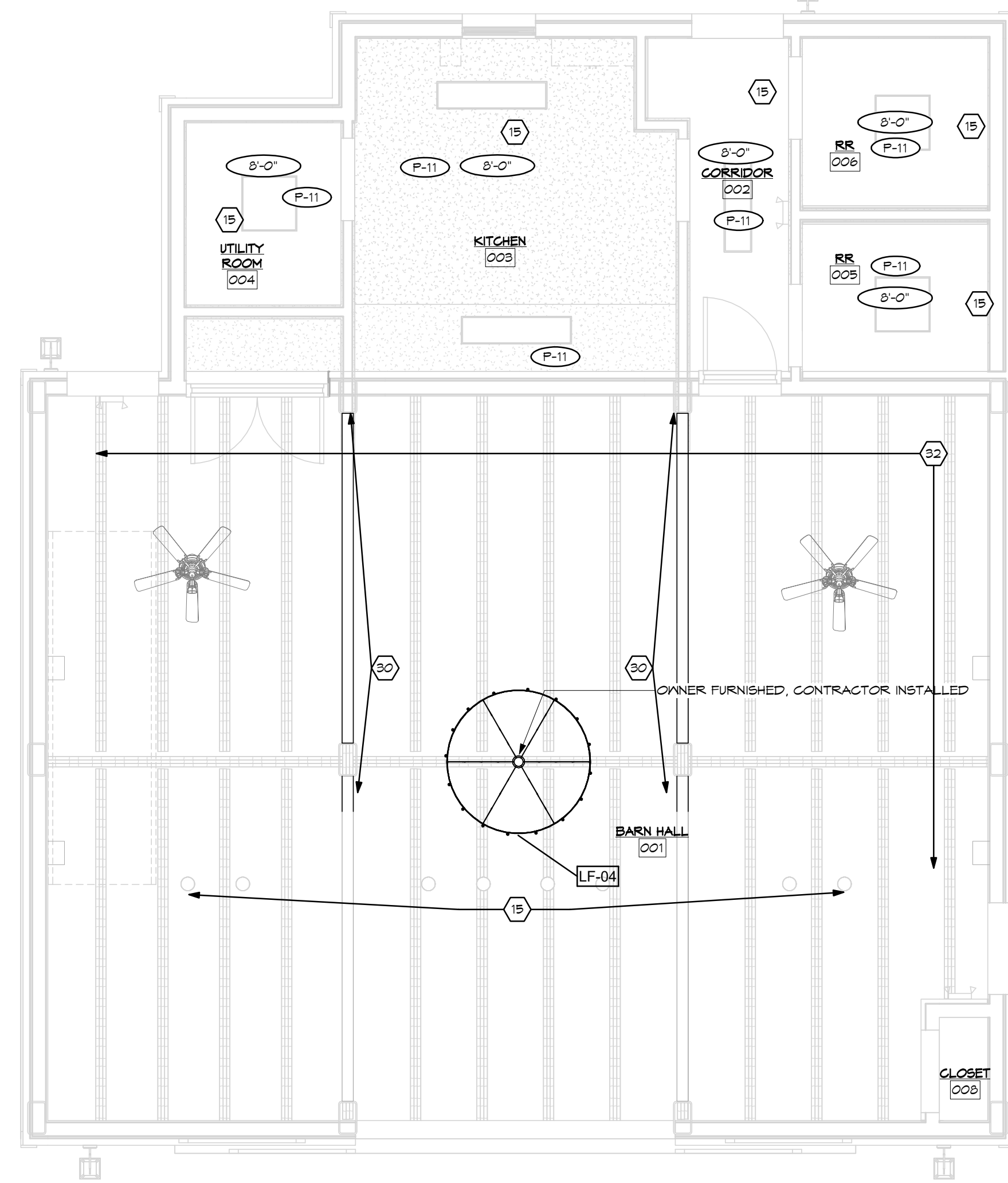
7 BARN INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



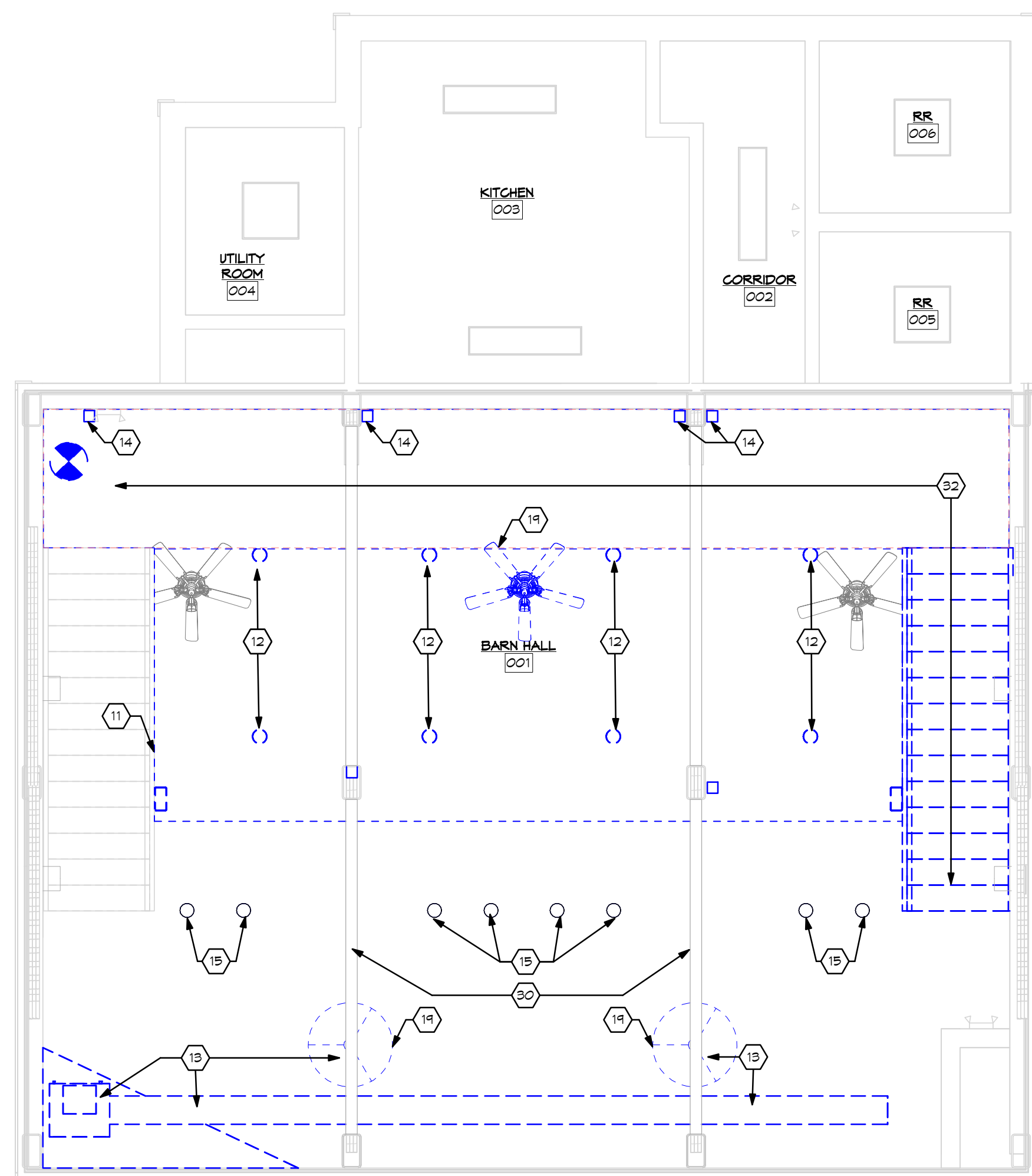
8 BARN INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



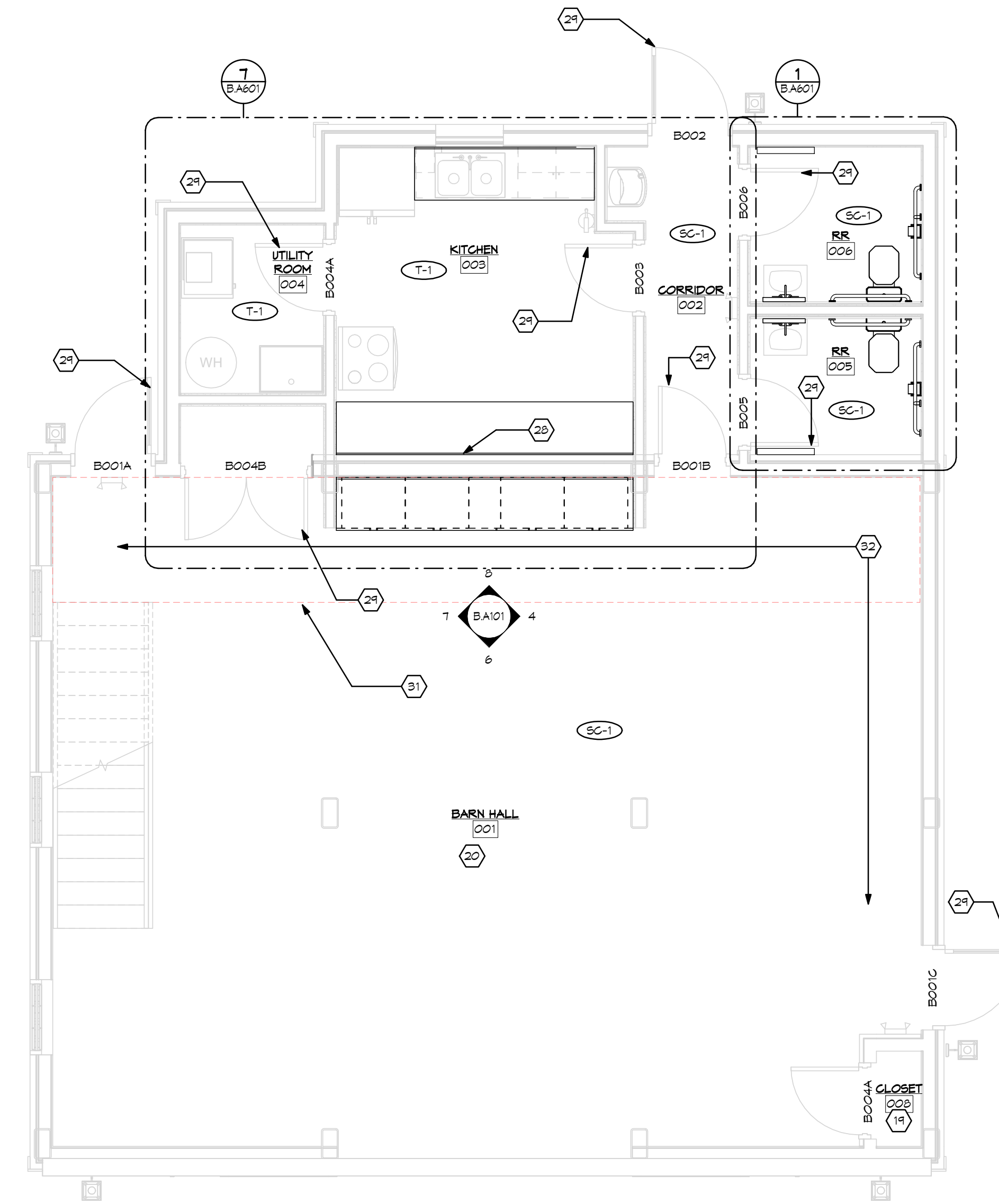
4 BARN INTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



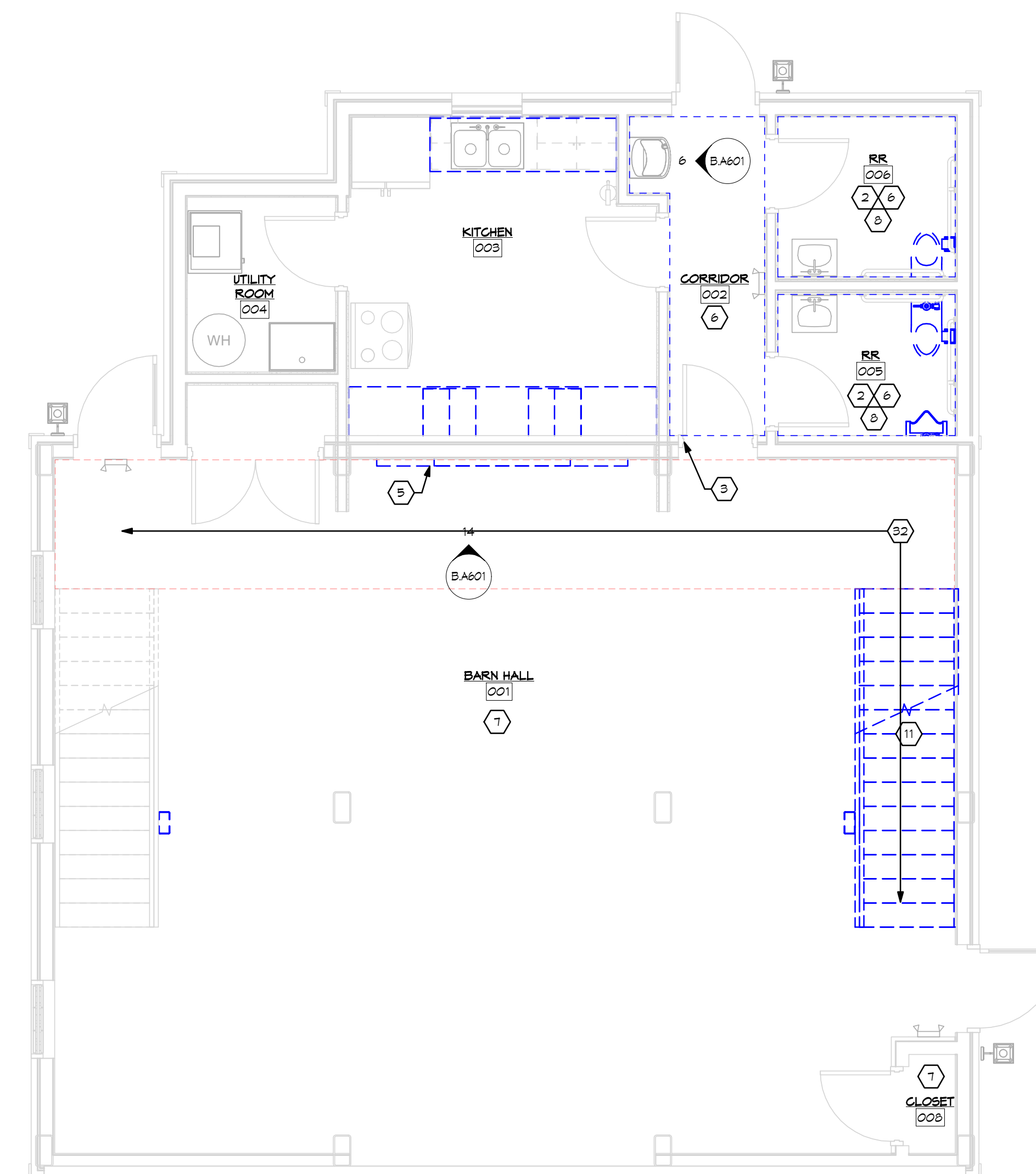
5 BARN NEW REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



2 BARN RCP DEMO PLAN  
SCALE: 1/4" = 1'-0"



3 BARN NEW FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 BARN FIRST FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"

SHEET NOTES:

- REMOVE EXISTING WALL AS INDICATED.
- REMOVE EXISTING WALL FINISHES & PREPARE WALL FOR NEW FINISH.
- REMOVE EXISTING DOOR & HARDWARE FRAME TO REMAIN, REPAIR AS NEEDED. RELOCATE DOOR AS INDICATED.
- REMOVE EXISTING CASEWORK.
- REMOVE EXISTING COUNTERTOPS.
- REMOVE EXISTING FLOORING & PREPARE SUBSTRATE FOR NEW FLOORING MATERIAL. REFER TO FINISH SCHEDULE.
- EXISTING CONCRETE FLOORING TO REMAIN. PREPARE FOR CONCRETE STAIN.
- REMOVE EXISTING PLUMBING FIXTURES. PREP FOR NEW FIXTURES.
- REMOVE EXISTING KITCHEN APPLIANCES.
- RELOCATE SWITCHES & CONTROLS. (SEE MEP DWGS)
- REMOVE STAIRS & LOFT SALVAGE STAIR MATERIALS & TO TURN OVER TO OWNER. COORDINATE WITH OWNER.
- RELOCATE LIGHTING & RELOCATE IF INDICATED. (SEE MEP DWGS)
- REMOVE MECHANICAL UNIT & DUCTWORK. (SEE MEP DWGS) TURN OVER TO OWNER.
- REMOVE ELECTRICAL CONDUITS. (SEE MEP DWGS)
- EXISTING LIGHTING TO REMAIN.
- REMOVE GUTTER EXISTING. PREPARE FOR NEW GUTTER CONNECTION. PREPARE ROOF FOR NEW ROOF CONNECTION.
- PREPARE EXISTING WALL FOR NEW EXTERIOR WALL CONNECTION.
- REMOVE EXISTING CEILING FAN. (SEE MEP DWGS)
- SEAL EXISTING CONCRETE FLOOR. (SEE FINISH PLANS)
- MATCH NEW SIDING, GUTTER & ROOF TO EXISTING CONDITIONS. (SEE FINISH SCHEDULE)
- NEW WALL TRIM.
- NEW CASED OPENING.
- NEW OPENING. PREPARE WALL FOR NEW ROLLING BARN DOOR.
- RELOCATED EXISTING LIGHTING. (SEE MEP DWGS)
- REMOVE EXISTING GELING AS NEED FOR NEW RIDGE BEAM. (SEE STRUCT. DWGS)
- REMOVE PORTION OF EXISTING WALL FOR NEW 4X4 COLUMNS. (SEE STRUCT. DWGS)
- INFILL EXISTING OPENING.
- EXISTING DOOR, NEW DOOR HARDWARE IN KIND, BLACK.
- EXISTING LOFT BEAMS TO REMAIN. WRAP WITH SALVAGED WOOD AT METAL PORTIONS.
- LOFT ALTERNATE: RELOCATE SALVAGED HANDRAIL ALONG NEW EDGE OF LOFT.
- LOFT ALTERNATE: RETAIN ONE STAIR AND PORTION OF LOFT.

GENERAL NOTES:

- PROTECT EXISTING - TO - REMAIN ITEMS THROUGHOUT THE PROJECT. REPAIRS TO ANY EXISTING - TO - REMAIN ITEMS DAMAGED BY CONTRACTOR OR SUBCONTRACTOR SHALL BE RESTORED AT CONTRACTOR'S EXPENSE.
- ALL DOORS WITHOUT A TAG ARE EXISTING TO REMAIN.
- ALL DOORS & CASEWORK TO BE PREPARED TO RECEIVE NEW FINISH. (SEE FINISH SCHEDULE)
- PATCH ALL WALLS DAMAGED FROM CONSTRUCTION AND/OR REMOVED WALLS, DEVICES OR EQUIPMENT (GLOCKS, SPEAKERS, ETC.) WITH MATERIALS TO MATCH EXISTING. MATCH ADJACENT SURFACE TEXTURE.
- ALL TRIM (CROWN MOLD, COFFERS, CHAIR RAIL & BASE) IMPACTED BY NEW WORK SHALL BE MODIFIED AND/OR PATCHED; REFER TO ELEVATIONS FOR FURTHER DETAIL.
- REMOVE ALL EXISTING WINDOW TREATMENTS & BLINDS. ALL WINDOWS SHALL RECEIVE NEW BLINDS.
- REMOVE ALL EXISTING UNUSED WALL MOUNTED DEVICES & EQUIPMENT (SPEAKERS, GLOCKS, BUS LIGHTS, BLANKS, ETC.) & TURN OVER TO OWNER. PATCH & REPAIR WALLS AS NEEDED TO MATCH TEXTURE & APPEARANCE OF ADJACENT WALL SURFACE.
- THE PARTITION TYPES INDICATED ON THIS SHEET PROVIDE THE GENERAL DESIGN INTENT HOWEVER, EXISTING AND/OR NEW CONDITIONS MAY OCCUR THAT MIGHT NOT BE IDENTIFIED IN THE PARTITION TYPES.
- UNLESS NOTED OTHERWISE, DISPOSE OF DEMOLITION MATERIALS OFF SITE FOLLOWING ALL APPLICABLE RULES & REGULATIONS.
- ALL NEW ELECTRICAL OUTLETS AND LIGHTS SHALL USE EXISTING ELECTRICAL CIRCUITS IN THE SPACE. RE-ROUTE TO NEW LOCATIONS INDICATED. ALL WALL RECEPTACLE COVERS TO BE REPLACED.

1	Barn RFQ	2024-03-28
2	Barn & Cottage Bid Set	2023-12-22
No.	Revisions / Submissions	Date

**LWC**  
INCORPORATED  
434 East First Street Dayton, OH 45402 937.223.6500  
712 East Main Street Richmond, IN 47374 765.966.3546

Benham's Grove - City of Centerville  
Barn Improvements

166 N Main St  
Centerville, OH 45459

ALTERNATE  
BARN DEMOLITION & NEW WORK PLANS

Comm. No.	22627.00	Date	2024-03-25
Drawn	A.H.F.	Drawing No.	B.A101A
Checked	L.L.		

